



ORCHARD VIEW SCHOOL DISTRICT
COMMUNITY EDUCATION CENTER
RENOVATIONS - BID PACKAGE NO. 1
1765 ADA AVENUE
MUSKEGON, MI 49442



2/15/2023

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DRAWING INDEX

00 - GENERAL
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G001 CODE COMPLIANCE & LIFE SAFETY PLANS
03 - STRUCTURAL
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DATE	DESCRIPTION
12/14/2022	BID PACKAGE - WINDOWS
1/24/2023	BID PACKAGE #1 - OWNER REVIEW
1/31/2023	BID PACKAGE #1 - BIDS
2/7/2023	BID PACKAGE #1 - PERMITS
2/15/2023	BID PACKAGE #1 - ADDENDUM #1

PROJECT LOCATION MAP



2/15/2023 8:27:59 AM

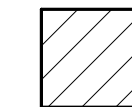
DRAWING NUMBER

G000

GENERAL DEMOLITION NOTES

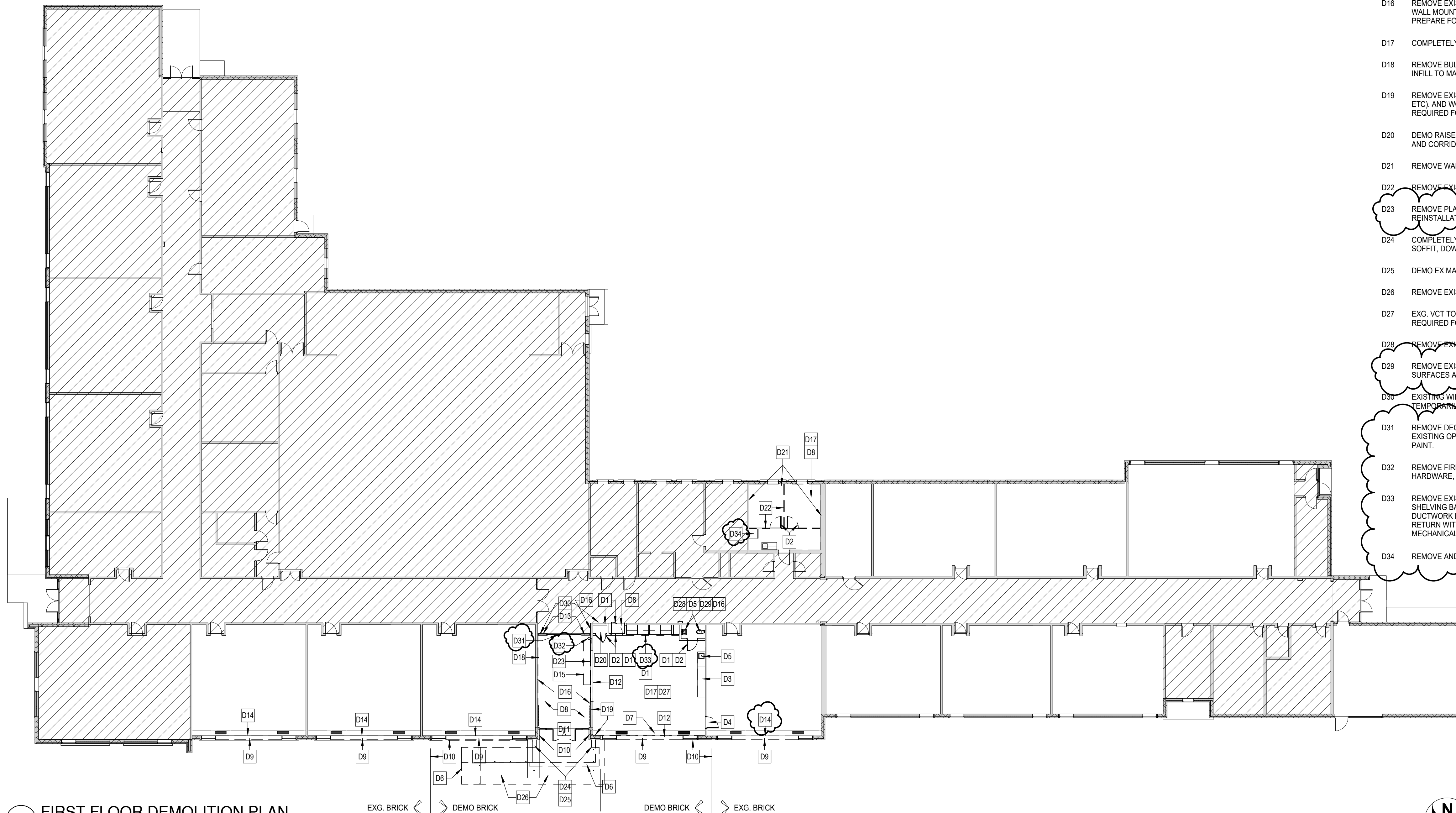
- A. CONTRACTOR SHALL COORDINATE REMOVAL OF FLOORS, WALLS AND CEILINGS WITH MECHANICAL, ELECTRICAL AND PLUMBING TRADES. ALL POWER, MECHANICAL AND PLUMBING LINES SHALL BE REMOVED BACK TO NEAREST MAIN BRANCH LINE OR PANEL.
- B. CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND EQUIPMENT NOTED TO REMAIN FROM DAMAGE RESULTING FROM DEMOLITION ACTIVITIES. ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM DEMOLITION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- C. CONTRACTOR SHALL PROTECT ADJACENT SURFACES IN PREPARATION OF SAW CUTTING REQUIRED FOR DEMOLITION ACTIVITIES.
- D. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL LAWN AND LANDSCAPE AREAS THAT ARE DAMAGED DURING CONSTRUCTION (INCLUDING NEW TOP SOIL, SEED, AND LANDSCAPE).
- E. SEE MECHANICAL DRAWINGS FOR ADDITIONAL CLASSROOM SPECIFIC DEMOLITION ITEMS.
- F. FIELD VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION. INFORM ARCHITECT OF DISCREPANCIES. EXISTING DRAWINGS ARE NOT AVAILABLE THEREFORE DESIGN IS BASED UPON VISUAL OBSERVATION AND ASSUMPTIONS.

DEMOLITION LEGEND

 DENOTES AREA NOT IN CONTRACT (N.I.C.)

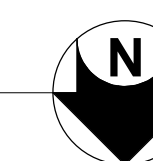
KEYNOTES

- D1 DEMO EXISTING WALL AS REQUIRED FOR NEW CONSTRUCTION. REPAIR EXISTING WALLS AND FLOOR INDICATED TO REMAIN AS REQUIRED.
- D2 DEMO EXISTING DOOR, FRAME, AND HARDWARE & ALL ASSOCIATED COMPONENTS.
- D3 REMOVE EXISTING CASEWORK, COUNTERTOP, SUPPORTS, AND SHELVING.
- D4 DEMO EXISTING DOOR. PREPARE AREA FOR INFILL TO MATCH EXISTING
- D5 REMOVE EXISTING PLUMBING.
- D6 REMOVE EXISTING EXTERIOR CONCRETE STOOP, STAIRS, RAMP AND HANDRAILS.
- D7 REMOVE EXISTING UNIT VENTILATOR & ALL ADJACENT CASEWORK.
- D8 REMOVE EXISTING CARPET. PREPARE FLOOR FOR NEW FLOOR FINISH. SEE PLANS.
- D9 REMOVE EPIS & STUD INFILL, WINDOWS, WOOD STOOL. PREPARE OPENING FOR NEW CONSTRUCTION AS INDICATED.
- D10 REMOVE EXISTING BRICK VENEER FULL HEIGHT, INCLUDING ABOVE & BELOW OPENINGS. BREAK OFF TIES FLUSH WITH BACK-UP.
- D11 COMPLETELY REMOVE EXISTING ENTRY SYSTEM, FULL HEIGHT INCLUDING DOORS, SIDELIGHTS, TRANSOMS, TRIM, AND ALL ASSOCIATED COMPONENTS.
- D12 SAW CUT & REMOVE PORTION OF EXISTING CMU WALL AS REQUIRED FOR NEW OPENING. SHORE EXISTING OVERHEAD STRUCTURE AS REQUIRED FOR INSTALLATION OF NEW LINTEL WHERE INDICATED.
- D13 DEMO EXISTING PASSAGE FRAME AND SIDELIGHTS TO WALL. PREPARE OPENING FOR NEW DOOR AND SIDELIGHTS.
- D14 REMOVE AND PREPARE TO RELOCATE EXISTING MINI-SPLIT. SEE MECHANICAL AND ELECTRICAL DRAWINGS.
- D15 DEMO BENCH SEATING AND RAISED BASE.
- D16 REMOVE EXISTING WALL TILE. DISCONNECT & REMOVE EXISTING WALL MOUNTED DEVICES (SWITCHES, FIRE ALARM PULLS, ETC.) & PREPARE FOR EXTENSION TO NEW WALL FINISH.
- D17 COMPLETELY REMOVE EXISTING WALL BASE IN ROOM.
- D18 REMOVE BULLETIN DISPLAY AND FRAME. PREP OPENING FOR INFILL TO MATCH EXISTING.
- D19 REMOVE EXISTING WALL FINISHES (CERAMIC TILE, ACOUSTI TILES, ETC.) AND WOOD TRIM DOWN TO SUBSTRATE. PREPARE AS REQUIRED FOR NEW FINISHES.
- D20 DEMO RAISED FLOOR TO BE LEVEL WITH THE REST OF THE ROOM AND CORRIDOR.
- D21 REMOVE WALL PANELING, PATCH WALL AND PREP FOR NEW PAINT.
- D22 REMOVE EXISTING WALL PARTITION SYSTEM, FLOOR TO CEILING.
- D23 REMOVE PLAQUE, CLOCK, AND SIGNAGE. SALVAGE FOR REINSTALLATION PER OWNER
- D24 COMPLETELY REMOVE EXISTING ENTRANCE CANOPY SYSTEM, SOFFIT, DOWNSPOUTS & ALL ASSOCIATED COMPONENTS.
- D25 DEMO EX MASONRY WALL/PIER.
- D26 REMOVE EXISTING CONCRETE WALK.
- D27 EXG. VCT TO BE REMOVED BY OWNER. PREPARE SUBSTARTE AS REQUIRED FOR NEW FLOORING
- D28 REMOVE EXISTING CEILING, FRAMING, LIGHTS & EXHAUST FAN.
- D29 REMOVE EXISTING FLOOR TILE AND 1.5" MUD SET. PREPARE SURFACES AS REQUIRED FOR NEW FINISHES.
- D30 EXISTING WIRE MOLDING AT HEAD OF TRANSOM TO REMAIN. TEMPORARY SUPPORT AS REQUIRED.
- D31 REMOVE DECORATIVE LETTERING, IMAGERY, AND TRIM ABOVE EXISTING OPENING. PREPARE SURFACE AS REQUIRED FOR NEW PAINT.
- D32 REMOVE FIRE EXTINGUISHER AND ASSOCIATED HANGER HARDWARE. RETURN TO OWNER.
- D33 REMOVE EXISTING CASEWORK, CABINETS, SUPPORTS, AND SHELVING BACK TO EXISTING MASONRY WALL. THERE IS DUCTWORK RUNNING ABOVE CABINETS. VERIFY DUCTWORK RETURN WITHIN CABINETS AND REMOVE. COORDINATE WITH MECHANICAL. PATCH AND REPAIR ADJACENT WALLS/CEILING.
- D34 REMOVE AND REINSTALL REFRIGERATOR PER OWNER.



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/16" = 1'-0"

EXG. BRICK ← DEMO BRICK DEMO BRICK → EXG. BRICK

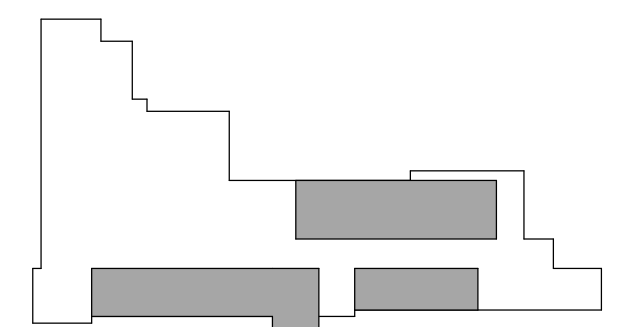


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2/15/2012	BID PACKAGE #1 - ADDENDUM #1



Key Plan

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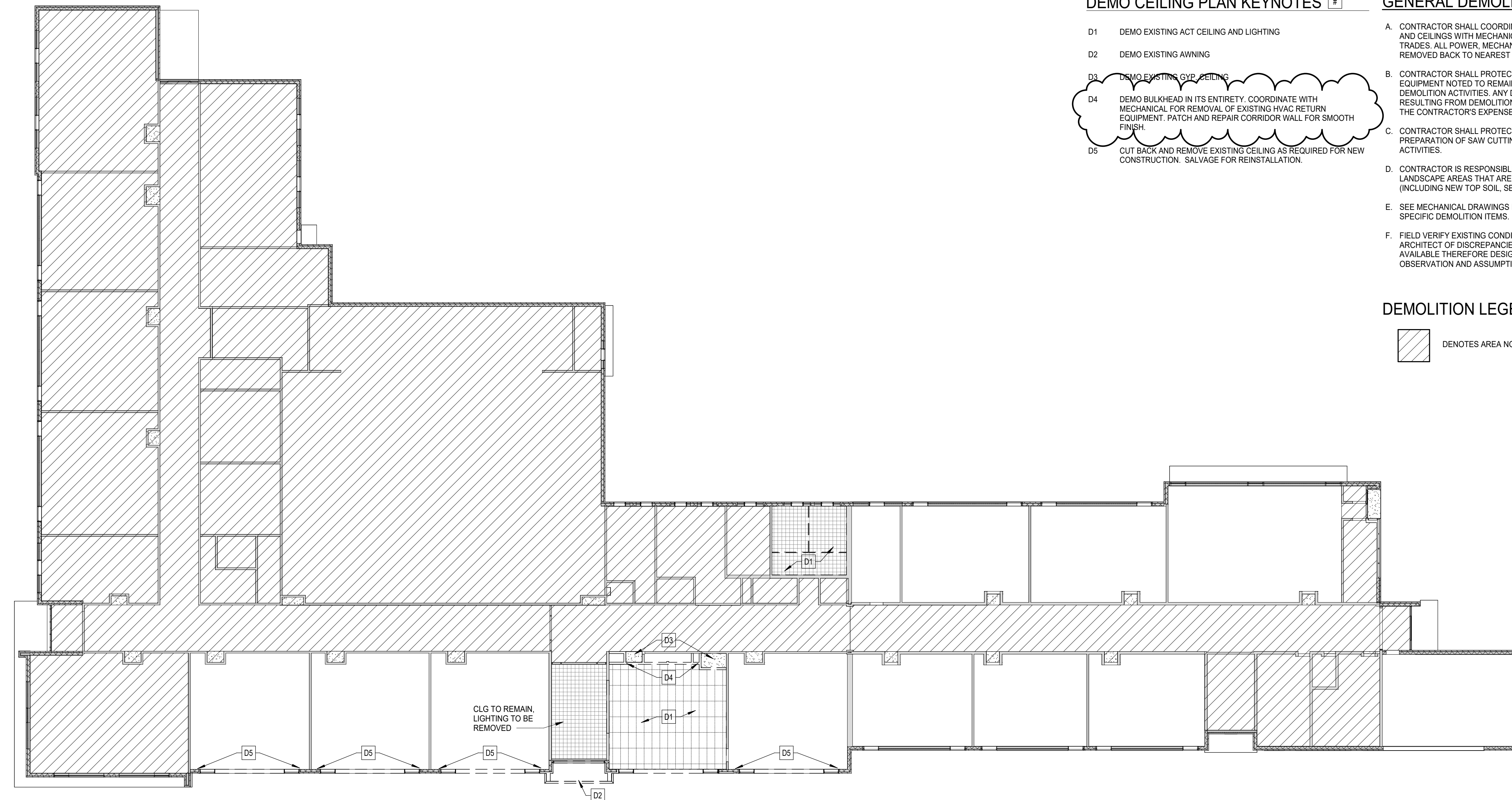
Project Manager	Discipline Lead
D HOLTROP	B HUYLER
Designer	Reviewer
E POST	R KEUNEKE
Date Issued	Project Number
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Sheet Name

FIRST FLOOR DEMOLITION PLAN

Drawing Number

AD101



2 FIRST FLOOR DEMOLITION RCP
SCALE: 1/16" = 1'-0"

DEMO CEILING PLAN KEYNOTES #

- D1 DEMO EXISTING ACT CEILING AND LIGHTING
- D2 DEMO EXISTING AWNING
- D3 DEMO EXISTING GYP. CEILING
- D4 DEMO BULKHEAD IN ITS ENTIRETY. COORDINATE WITH MECHANICAL FOR REMOVAL OF EXISTING HVAC RETURN EQUIPMENT. PATCH AND REPAIR CORRIDOR WALL FOR SMOOTH FINISH.
- D5 CUT BACK AND REMOVE EXISTING CEILING AS REQUIRED FOR NEW CONSTRUCTION. SALVAGE FOR REINSTALLATION.

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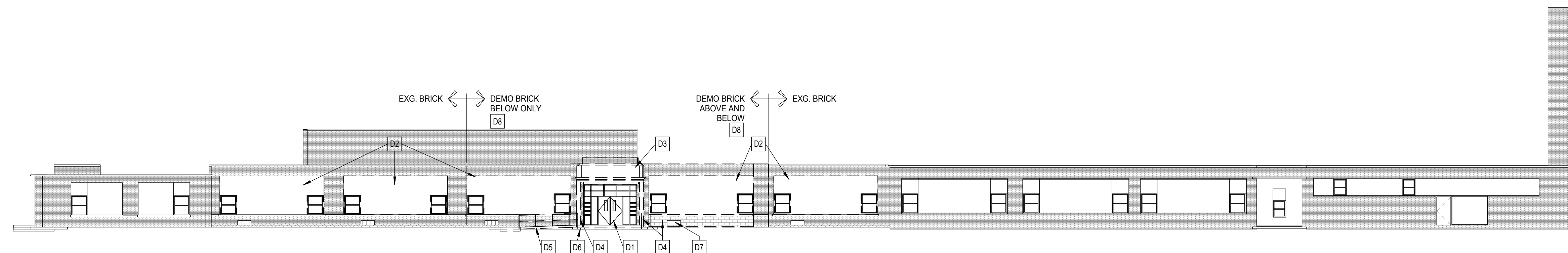
DEMOLITION LEGEND

DENOTES AREA NOT IN CONTRACT (N.I.C.)

CLG TO REMAIN,
LIGHTING TO BE
REMOVED

DEMO ELEVATION KEYNOTES #

- D1 REMOVE EXISTING ENTRY DOOR AND WINDOW SYSTEM. PREPARE OPENING TO RECEIVE NEW ENTRY SYSTEM (SEE PLANS).
- D2 REMOVE EXISTING EIFS WALL AND WINDOWS UP TO BRICK SURROUND AND SILL. PREPARE OPENING TO RECEIVE NEW INFILL AND WINDOWS (SEE PLANS).
- D3 REMOVE EXISTING CANOPY/AWNING AND ANY FASTENERS/ATTACHMENTS.
- D4 REMOVE ENTIRE PORTION OF MASONRY WALL AS NOTED.
- D5 REMOVE EXISTING CONCRETE RAMP AND RAILING. PREPARE GROUND BELOW TO RECEIVE NEW LANDSCAPING.
- D6 DEMO EXISTING EXTERIOR LANDING, STAIRS, AND RAILING. PREPARE AREA TO RECEIVE NEW PER PLANS.
- D7 REMOVE EX LOUVER. SEE MECHANICAL
- D8 REMOVE EXISTING BRICK VENEER, INCLUDING ABOVE & BELOW OPENINGS WHERE NOTED ON ELEVATIONS. BREAK OFF TIES FLUSH WITH BACK-UP.



1 NORTH ELEVATION DEMO
SCALE: 1/16" = 1'-0"



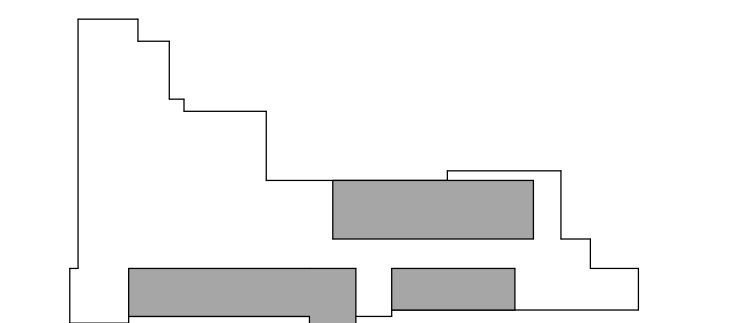
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Key Plan

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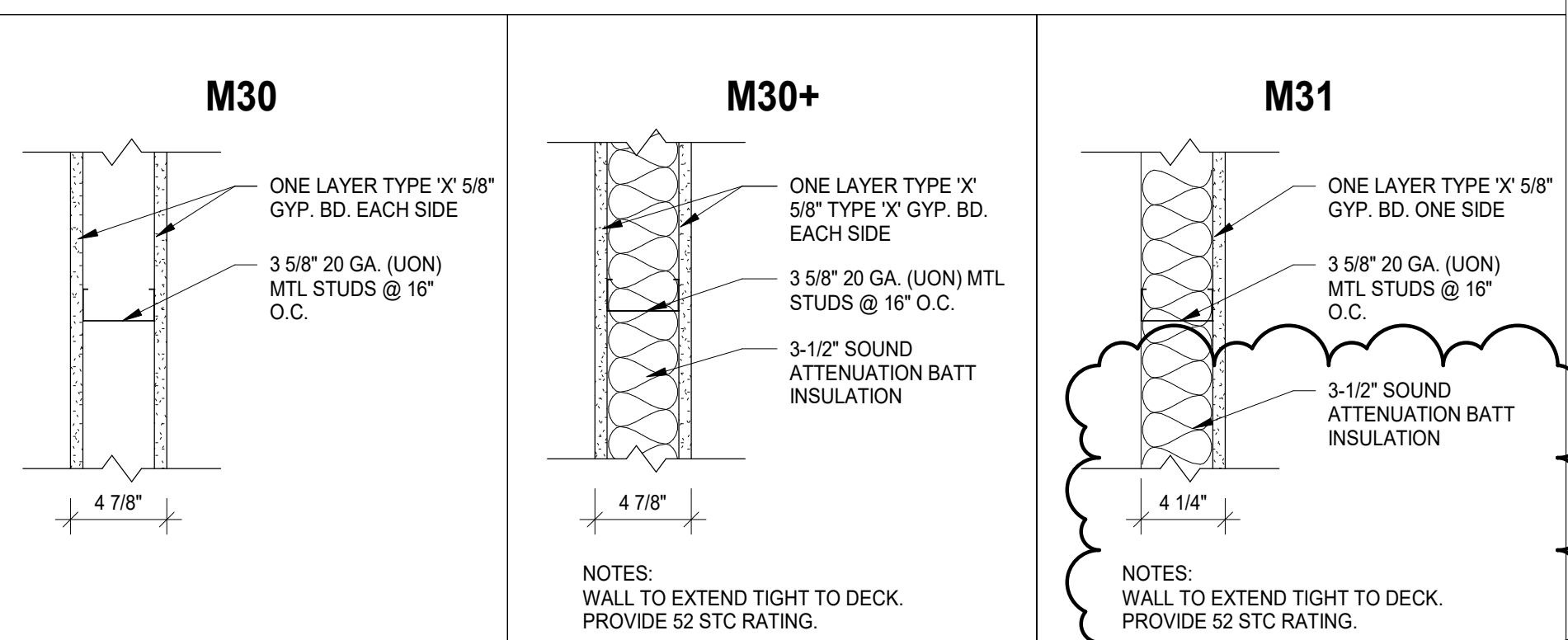
Project Manager	Discipline Lead
D HOLTROP	B HUYLER
Designer	Reviewer
E POST	R KEUNEKE
Date Issued	Project Number
2/15/2023	16600.00

Sheet Name
**FIRST FLOOR DEMOLITION
CEILING PLAN AND
EXTERIOR ELEVATION**

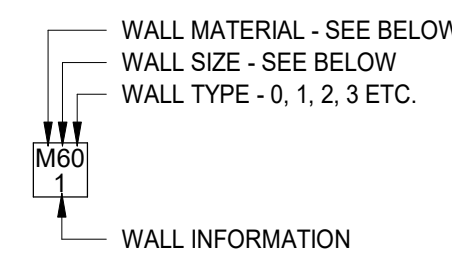
Drawing Number
AD121

WALL TYPES

NOTE: SEE TYPICAL WALL SECTIONS FOR ADDITIONAL INFORMATION AT FLOOR AND DECK ABOVE CONDITIONS.



WALL LEGEND



WALL MATERIAL	WALL SIZES
C = CONCRETE MASONRY UNITS	4 = 4" NOMINAL, 3 5/8" ACTUAL 6 = 6" NOMINAL, 5 5/8" ACTUAL 8 = 8" NOMINAL, 7 5/8" ACTUAL
F = FURRING CHANNEL	1 = 7/8" METAL HAT CHANNEL @ 24" O.C. 2 = 1-1/2" METAL HAT CHANNEL @ 24" O.C.
M = METAL STUD	1 = 1-5/8" METAL STUDS @ 16" O.C. 2 = 2-1/2" METAL STUDS @ 16" O.C. 3 = 3-5/8" METAL STUDS @ 16" O.C. 6 = 6" METAL STUDS @ 16" O.C.

WALL INFORMATION
1 = WALL HEIGHT STUD FRAMING AND GYP BOARD FINISH TO DECK ABOVE
2 = GYP BOARD FINISH TO 8" ABOVE CEILING
3 = SOUND ATTENUATION CAVITY BATT INSULATION FULL HEIGHT, FLOOR TO DECK

COLUMN ENCLOSURES, CHASES AND ENCLOSED UNINHABITABLE SPACES ARE TO BE WALL TYPE M31, UNLESS NOTED OTHERWISE.

REF WALL TYPES AND DETAILS; SEE THIS SHEET

KEYNOTES

- F1 16" ADJUSTABLE WALL SHELVING W/ 2 STANDARDS EACH WALL ON BRACKETS, MELAMINE FINISH.
- F2 INFILL OPENING FROM BULLETIN/DISPLAY REMOVAL TO CREATE FLUSH CONDITION W/ EXISTING WALL. INFILL WITH METAL STUDS, SHEETROCK, AND FEATHER IN NEW PLASTER COAT INTO EXISTING WALL CONSTRUCTION TO MAINTAIN EXISTING FIRE RATING.
- F3 NEW WALL INFILL AT DOOR REMOVAL. MATCH FINISH OF ADJACENT WALLS.
- F4 TYPE X DRYWALL ON 3/4" HAT CHANNEL ON EXISTING WALL. MAINTAIN FIRE RATING.
- F5 NEW LAYER OF TYPE X GYP ON 3/4" HAT CHANNEL FURRING ON ENTIRE LENGTH OF EXISTING MASONRY WALL FOR SMOOTH SURFACE FINISH. MAINTAIN FIRE RATING.
- F6 NEW ADA PUSH BUTTONS EITHER SIDE OF ENTRANCE.
- F7 BULKHEAD ABOVE
- F8 5/8" GYP BD ON 2" LT GA METAL FURRING. EXTEND TO 8" (MIN) OR FIRST COURSE OF EXISTING TILE REMOVED FROM EXISTING WALL.
- F9 PAINT EXISTING UNIT VENT COVER TO MATCH WALL FINISH COLOR.
- F10 TO REPAIR WALL BENEATH REMOVED TILE, APPLY SHEETROCK AND FEATHER NEW PLASTER COAT INTO EXISTING TO PROVIDE FLUSH/SEAMLESS SURFACE.
- F11 SPLICING OF EXISTING WIRE MOULD AND CONDUIT BY CONTRACTOR.
- F12 PROVIDE SEMI-RECESSED FIRE EXTINGUISHER CABINET. SURROUNDING BLOCK SHALL MAINTAIN 4" SOLID SOAP TO MAINTAIN EXISTING FIRE RATING.
- F13 VERIFY EXISTING CONDITION OF WALL SURFACE BENEATH EXISTING REMOVED PANNELING. PROVIDE 3/4" FURRING AND GYP AS REQUIRED TO CREATE SMOOTH FINISHED SURFACE FOR PAINT

GENERAL NOTES

- A. REFER TO A001 FOR GENERAL NOTES AND LEGENDS.
- B. REFER TO A120 SERIES DRAWINGS FOR REFLECTED CEILING PLANS AND DETAILS. (FUTURE BP)
- C. REFER TO A140 SERIES DRAWINGS FOR FINISH PLANS, SCHEDULES, AND DETAILS. (FUTURE BP)
- D. REFER TO A600 SERIES DRAWINGS FOR DOOR SCHEDULE, WINDOW SCHEDULE, DETAILS, AND BASIS OF DESIGN.
- E. ALL DOORS TO BE LOCATED 4" FROM DRYWALL ADJACENT WALL UNLESS OTHERWISE NOTED.
- F. ALIGN FACES OF MASONRY AND STUD WALLS INDICATED IN THE SAME PLANE ON PLANS. U.O.N.

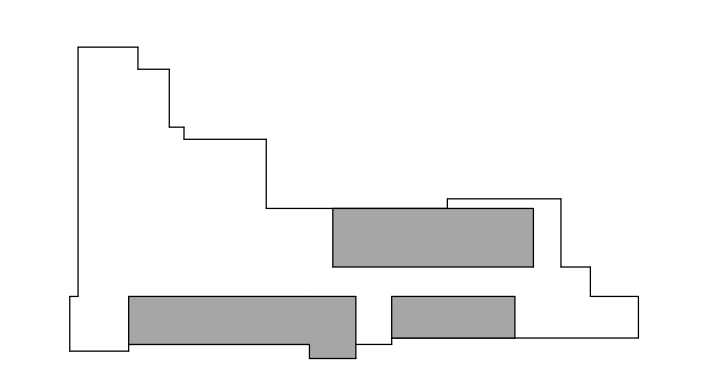


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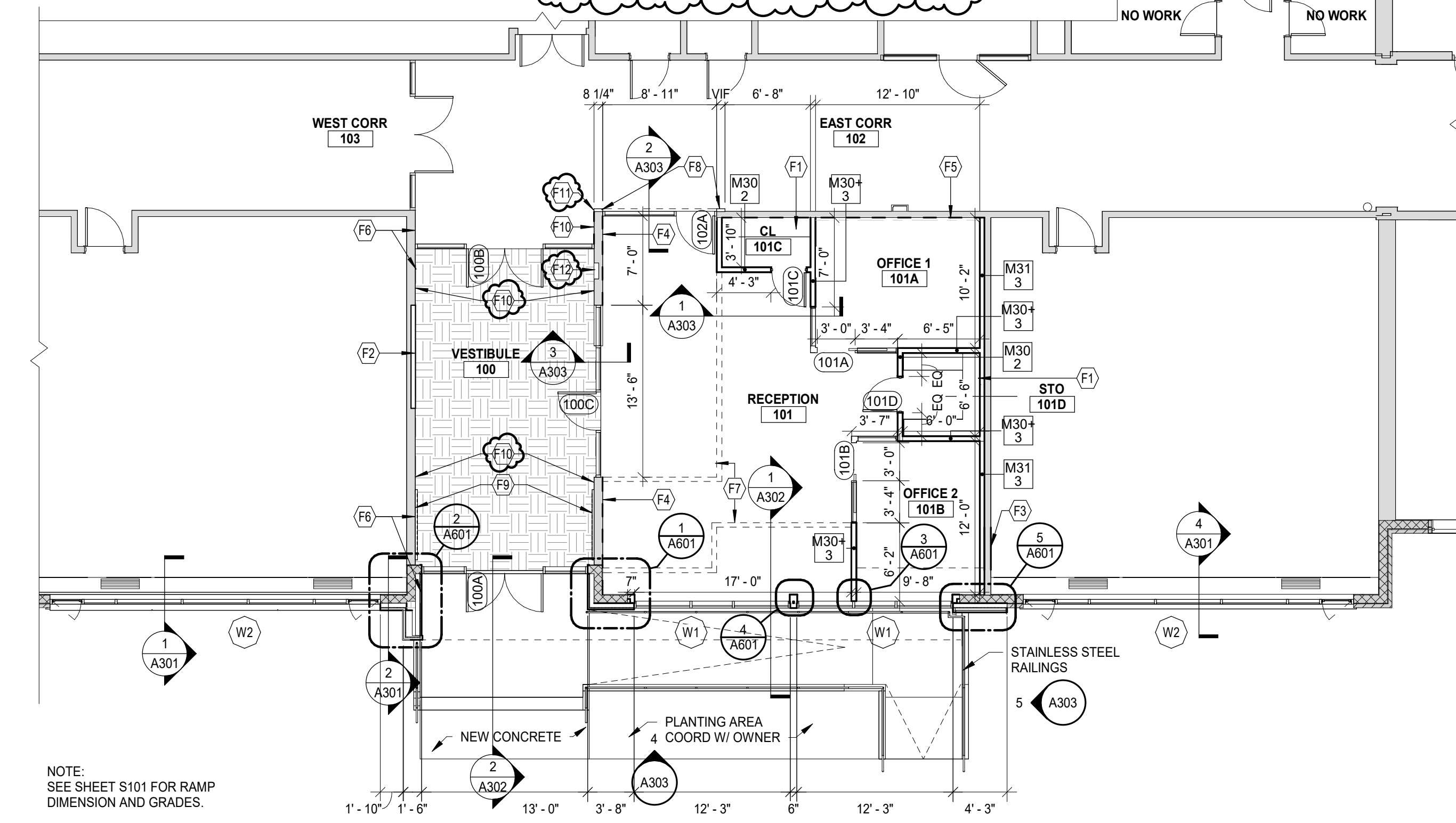
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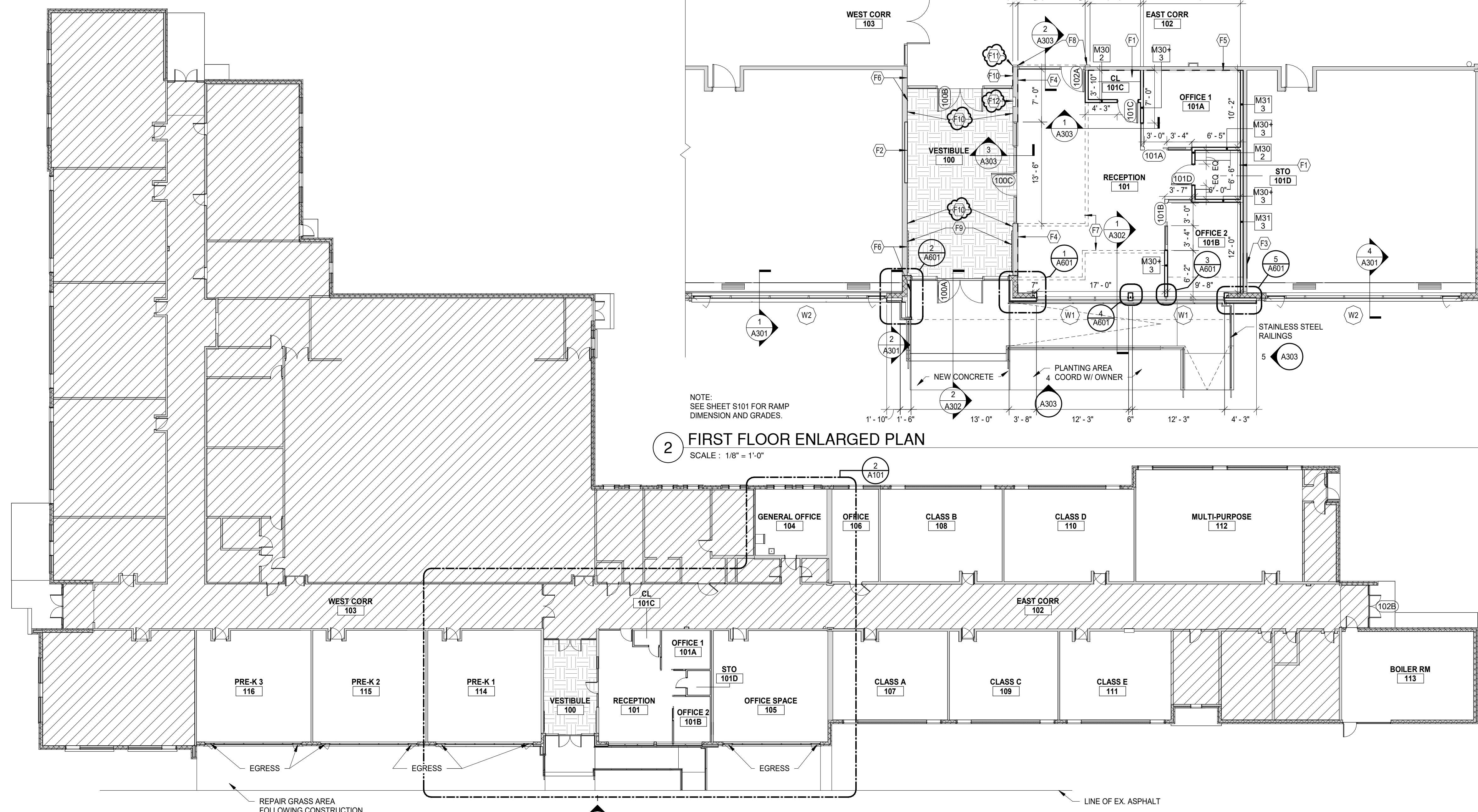
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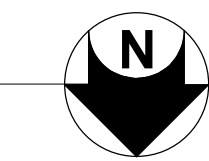
Key Plan



2 FIRST FLOOR ENLARGED PLAN
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"



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Project Manager	Discipline Lead
D HOLTROP	B HUYLER
Designer	Reviewer
E POST	R KEUNEKE
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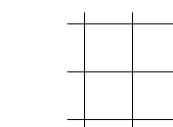
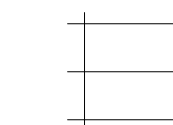
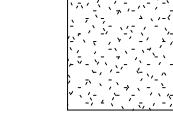
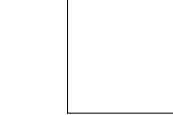
FIRST FLOOR PLAN

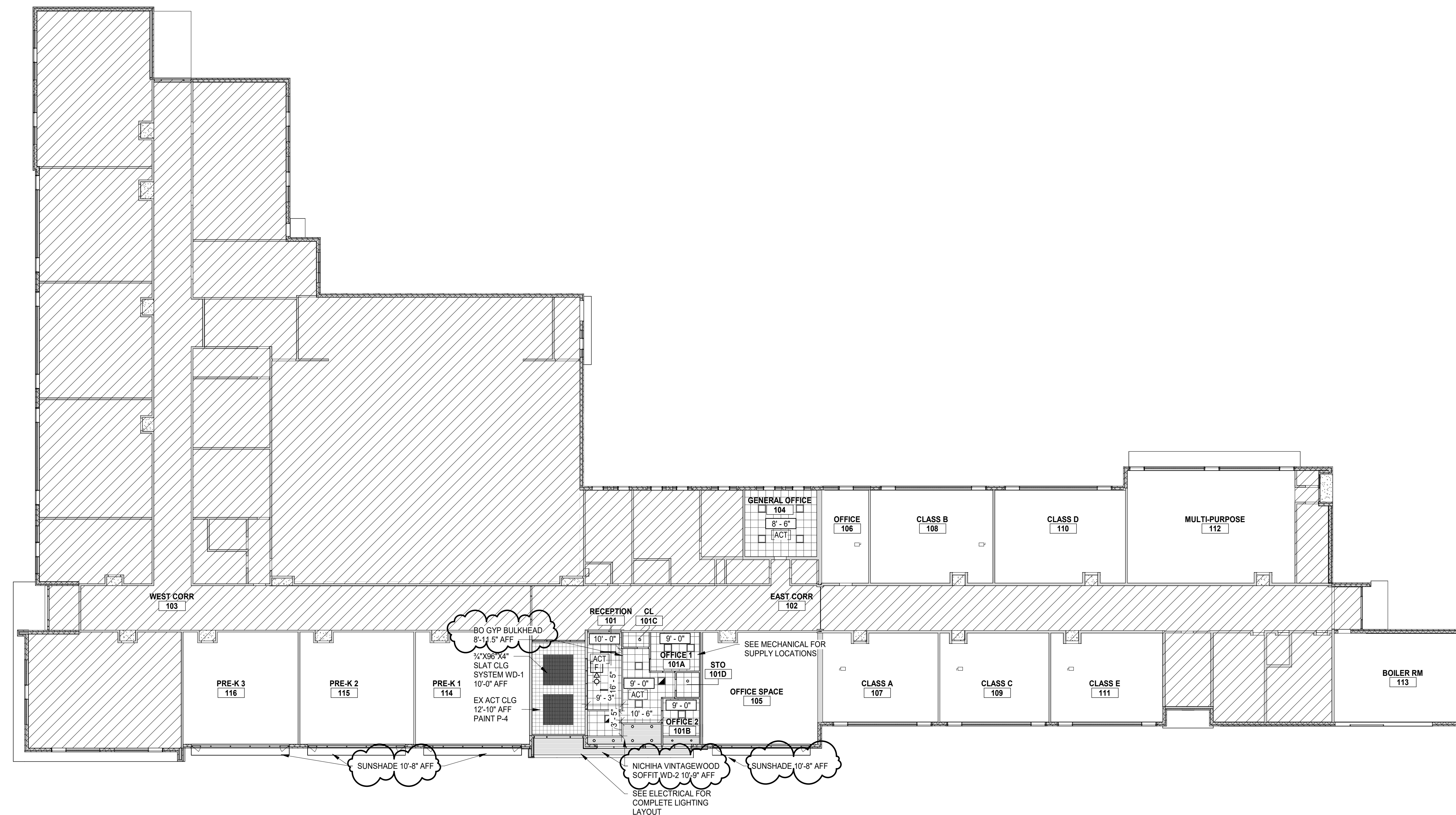
Drawing Number

A101

LEGEND

NOTE: SEE OTHER DISCIPLINE DRAWINGS (E.G. MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS) FOR ASSOCIATED SYSTEMS AND INFORMATION ABOUT SYMBOLS NOT INDICATED IN THIS LEGEND.

-  2' x 2' SUSPENDED CEILING TILE
-  2' x 4' SUSPENDED CEILING TILE
-  GYPSUM BOARD CEILING/SOFFIT
-  OPEN TO DECK



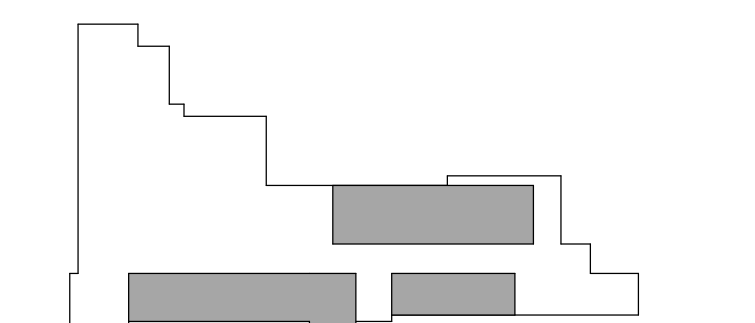
1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/16" = 1'-0"

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Key Plan

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Project Manager	Discipline Lead
D HOLTROP	B HUYLER
Designer	Reviewer
E POST	R KEUNEKE
Date Issued	Project Number
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Sheet Name

FIRST FLOOR CEILING PLAN

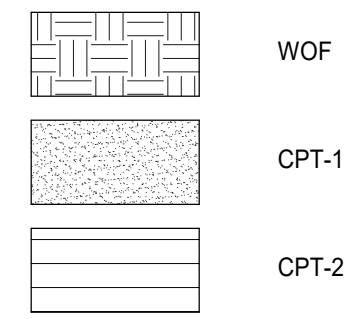
Drawing Number

A121

BASIS OF DESIGN	
095113 ACOUSTICAL PANEL CEILINGS	098433 INTERIOR PAINT
ACT-1: ACOUSTICAL CEILING TILE; 24" x 24" MANUFACTURER: ARMSTRONG STYLE: CALLA COLOR: WHITE EDGE: SQUARE LAY-IN GRID: 15/16" WHITE NOTE:	P-1: FIELD - INTERIOR PAINT MANUFACTURER: SHERWIN-WILLIAMS COLOR: SW 7065 PURE WHITE FINISH: PER PAINT SPEC LOCATION: INTERIOR WALLS P-2: ACCENT - INTERIOR PAINT MANUFACTURER: SHERWIN-WILLIAMS COLOR: SW 7071 GRAY SCREEN FINISH: PER PAINT SPEC LOCATION: OFFICE CORRIDOR BUMP OUT
096513 RESILIENT BASE	P-3: ACCENT - HM DOOR FRAMES MANUFACTURER: SHERWIN-WILLIAMS COLOR: SW 7071 GRAY SCREEN FINISH: PER PAINT SPEC
RB-1: RESILIENT WALL BASE; 4" H MANUFACTURER: JOHNSONITE STYLE: TRADITIONAL 4" DC COLOR: 48 GREY TOE STYLE: COVE NOTE:	P-4: FIELD - CEILING MANUFACTURER: SHERWIN-WILLIAMS COLOR: SW 6258 TRICORN BLACK FINISH: PER PAINT SPEC LOCATION: VESTIBULE CEILING TILES
096813 TILE CARPET	124813 ENTRANCE MATS & GRIDS
CPT-1: CARPET TILE; 18" x 36" MANUFACTURER: SHAWCONTRACT COLLECTION: COLOR AT WORK II STYLE: CHROMATONE TILE COLOR: CHARCOAL TAUPE NOTE: ASHLAR PATTERN, LENGTH EAST-WEST	WOF: VINYL GRID SYSTEMS W/ CARPET MANUFACTURER: PORTICO SYSTEMS COLLECTION: SNAP TRAX PLUS TILE COLOR: GREY LOCATION: VESTIBULE NOTE:
CPT-2: CARPET TILE; 18" x 36" MANUFACTURER: SHAWCONTRACT COLLECTION: COLOR AT WORK II STYLE: CHROMATONE TILE COLOR: CRIMSON TAUPE NOTE: ASHLAR PATTERN, LENGTH EAST-WEST FULL TILE ACCENT PER DRAWINGS	096406 SPECIALTY CEILINGS
066116 SOLID SURFACE	WD-1: SLAT CEILING PANEL SYSTEM MANUFACTURER: ARMSTRONG COLLECTION: WOODWORKS GRILLE - FORTE VENEERED COLOR: QUARTERED WALNUT TRIM: VENEERED FRPB TRIM QUARTERED WALNUT LOCATION: VESTIBULE NOTE: ITEM #334 L8 S17 NQW
SS-1: SOLID SURFACE MANUFACTURER: CORIAN COLOR: SORREL FINISH: TBD NOTE: WINDOW INTERIOR SILLS	WD-2: FIBREMENT PANEL SYSTEM MANUFACTURER: NICHHA COLLECTION: VINTAGEWOOD COLOR: CEDAR LOCATION: RECEPTION CEILING AND EXTERIOR NOTE: PER ELEVATIONS

ROOM FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				CEILING	REMARKS
				NORTH	SOUTH	EAST	WEST		
FINISHED FLOOR									
100	VESTIBULE	WOF	RB-1	P-1	P-1	P-1	P-1	P-4/WD-1	
101	RECEPTION	CPT-1/CPT-2	RB-1	P-1	P-1	P-1	P-1	ACT-1/WD-2	
101A	OFFICE 1	CPT-2	RB-1	P-1	P-1	P-1	P-1	ACT-1	
101B	OFFICE 2	CPT-2	RB-1	P-1	P-1	P-1	P-1	ACT-1	
101C	CL	CPT-1	RB-1	P-1	P-1	P-1	P-1	ACT-1	
101D	STO	CPT-1	RB-1	P-1	P-1	P-1	P-1	ACT-1	
102	EAST CORR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NO RENO PHASE 1
103	WEST CORR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	NO RENO PHASE 1
104	GENERAL OFFICE	CPT-1	RB-1	P-1	P-1	P-1	P-1	ACT-1	

FINISH HATCH LEGEND

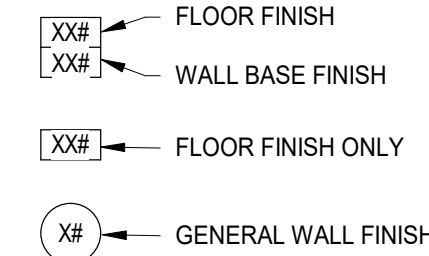


WOF

CPT-1

CPT-2

FINISH SYMBOL LEGEND



FLOOR FINISH

WALL BASE FINISH

FLOOR FINISH ONLY

GENERAL WALL FINISH

GENERAL NOTES

- A. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR PREPARING AND INSTALLING FINISHES.
- B. PROTECT ADJACENT WORK BY SUITABLY COVERING DURING WORK.
- C. REMOVE ADHESIVE OR PAINT SPOTS FROM FINISHED FLOORS, WALLS, GLASS OR OTHER SURFACES. FINISHES TO MEET OR EXCEED CODE REQUIREMENTS.
- D. INSTALL MATERIALS USING MANUFACTURER'S APPROVED ADHESIVES AND METHODS, U.O.N.
- E. FILL MINOR DRYWALL IRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF PAPER
- F. DO NOT PERFORM PAINTING AND OTHER FINISHING WORK UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK. AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LODGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS MUST BE BROOM CLEAN BEFORE PAINTING IS STARTED.
- G. EDGES OF PAINT ADJOINING OTHER COLORS OR MATERIALS TO BE SHARP AND CLEAN WITHOUT OVERLAP.
- H. EXAMINE SURFACES TO RECEIVE PAINT CAREFULLY FOR DEFECTS. DO NOT PROCEED WITH WORK UNTIL DEFECTS ARE CORRECTED.
- I. WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, REFINISH AN ENTIRE WALL RATHER THAN SPOT FINISHING WHERE A PORTION OF THE FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
- J. PREPARE FLOOR SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
 - A. PREPARE/PROPERLY REPAIR AND PATCH SUBFLOORS TO A SMOOTH AND LEVEL FINISH.
 - B. FLASH PATCH AS REQUIRED, READY TO RECEIVE NEW FINISH.
- K. PROVIDE SELF-LEVELING TROWELABLE UNDERLAYMENT WHERE REQUIRED TO OBTAIN FINISH MANUFACTURER'S REQUIRED SUBFLOOR CONDITION.
- L. FOLLOW THE CARPET AND RUG INSTITUTE METHODS OF INSTALLATION.
- M. INSTALL TILE PER THE TILE COUNCIL OF NORTH AMERICA'S INSTALLATION SPECIFICATIONS.
- N. PROVIDE THE REQUIRED TRANSITIONS BASED ON TYPES IDENTIFIED ON DRAWINGS AT EACH FINISH TRANSITION LOCATION
- O. CENTER FLOOR MATERIAL TRANSITIONS ON DOOR ABOVE.
- P. FINISHED FLOORS EXTEND INTO TOE SPACES, CLOSETS, DOOR REVEALS AND SIMILAR OPENINGS.
- Q. REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES.



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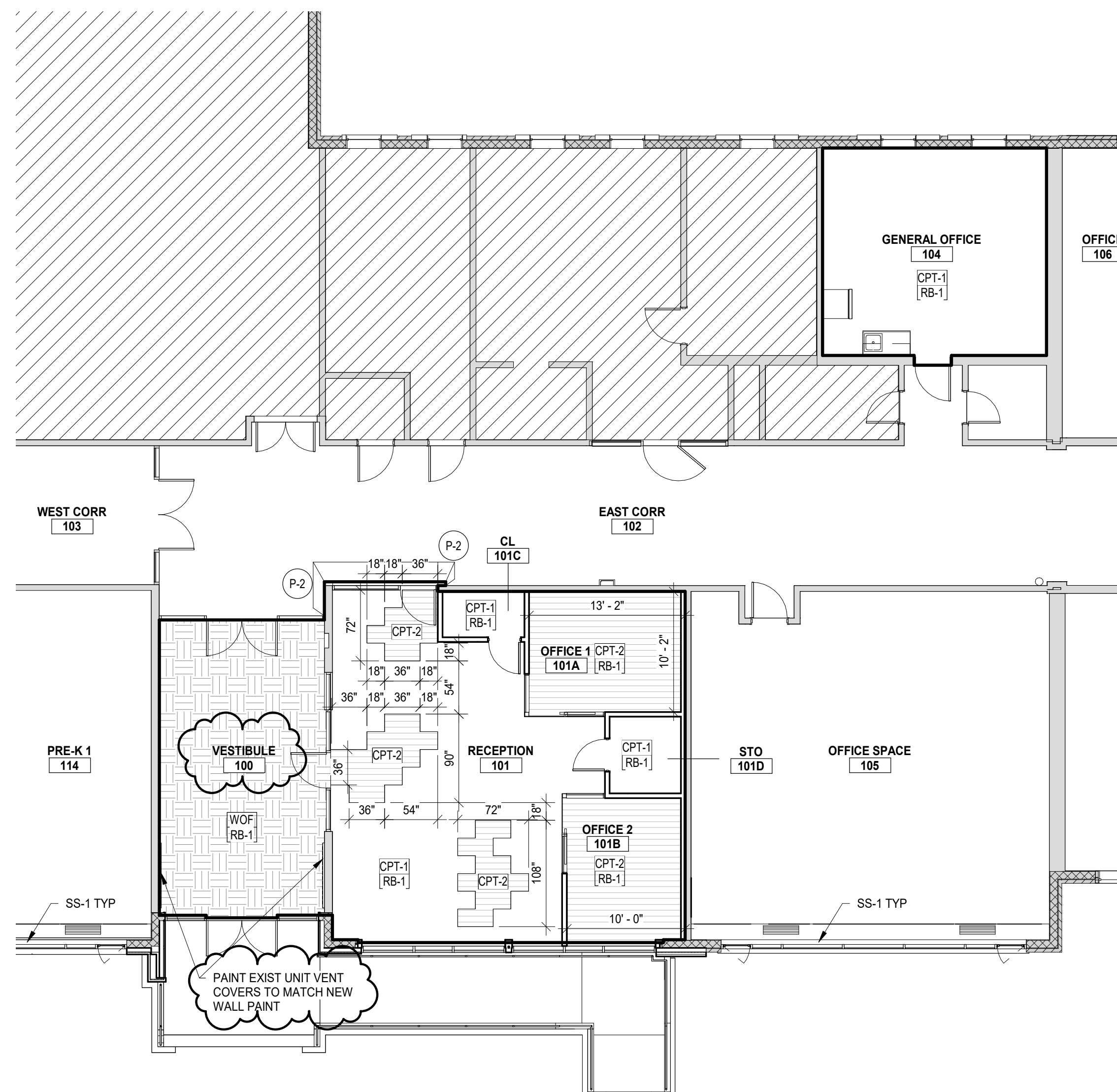
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1/31/2023	BID PACKAGE #1 - BIDS
2/7/2023	BID PACKAGE #1 - PERMITS
2/15/2012	BID PACKAGE #1 - ADDENDUM #1

PAINT SPECIFICATION

- A. BASIS OF DESIGN MANUFACTURER: SHERWIN WILLIAMS. ALSO ACCEPTABLE: BENJAMIN MOORE AND PPG PAINTS.
- B. PAINT SYSTEMS:
 - a. GYPSUM BOARD AND PLASTER: NEW & PREVIOUSLY PAINTED.
 - PRIMER: PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER, B28 SERIES.
 - INTERMEDIATE COAT: MATCH TOPCOAT.
 - TOPCOAT: PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B20.
 - b. CMU: PREVIOUSLY PAINTED.
 - LOXON CONCRETE AND MASONRY PRIMER LX02 SERIES
 - INTERMEDIATE COAT: MATCH TOPCOAT.
 - TOPCOAT: PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B20.
 - c. HOLLOW METAL FRAMES
 - PRO INDUSTRIAL PRO CRYL UNIVERSAL PRIMER, B66 SERIES.
 - INTERMEDIATE COAT: MATCH TOPCOAT.
 - TOPCOAT: PRO INDUSTRIAL PRE CATALYZED WATERBASED EPOXY SEMI-GLOSS, K46 SERIES.
 - d. EXISTING VESTIBULE CEILING TILES
 - PRIMER: PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER, B28 SERIES
 - INTERMEDIATE COAT: MATCH TOPCOAT.
 - TOPCOAT: PROMAR 200 ZERO VOC INTERIOR LATEX FLAT, B30 SERIES.
- C. COLORS: REFER TO INTERIOR FINISH SCHEDULE.



2 FIRST FLOOR FINISH PLAN - AREA OF WORK
SCALE: 1/8" = 1'-0"

Key Plan

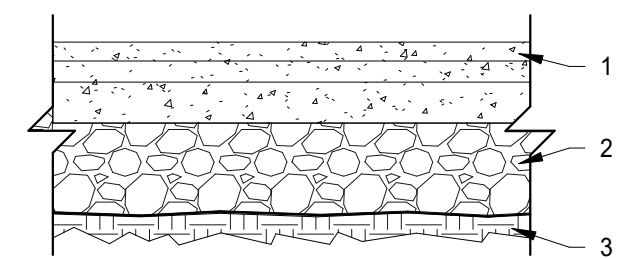
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Designer	Reviewer
E POST	R KEUNEKE
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Sheet Name	

FIRST FLOOR FINISH PLAN

Drawing Number

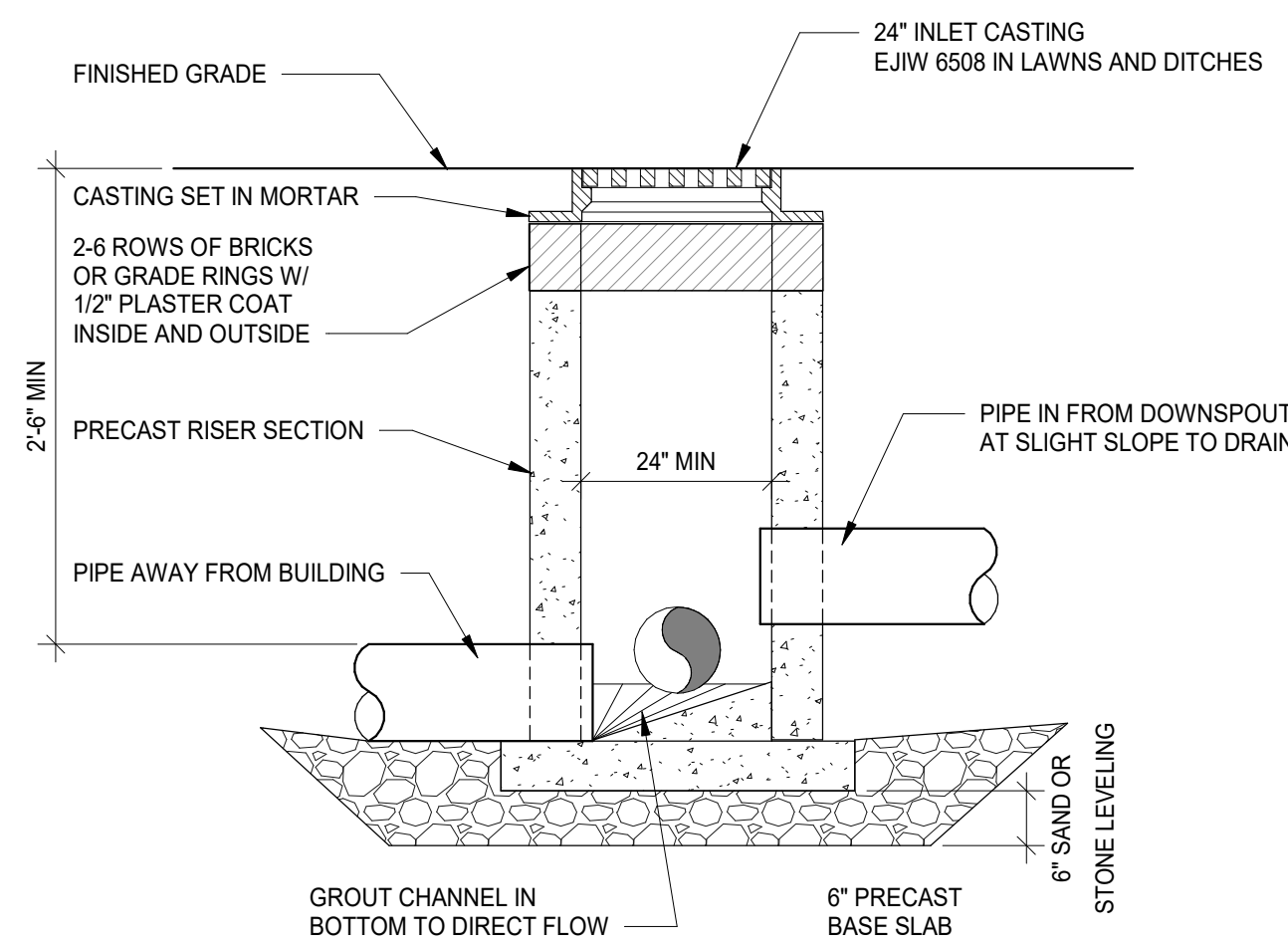
A141



- 1. 6" CONCRETE - MDOT P1 SECTION (28 DAY STRENGTH 4000 PSI)
- 2. 5" MDOT 214A - AGGREGATE BASE COURSE HEAVY DUTY INCLUDING 1" BEYOND CURB
- 3. COMPACTED SUBGRADE, PROOFROLLED AND APPROVED SUBGRADE

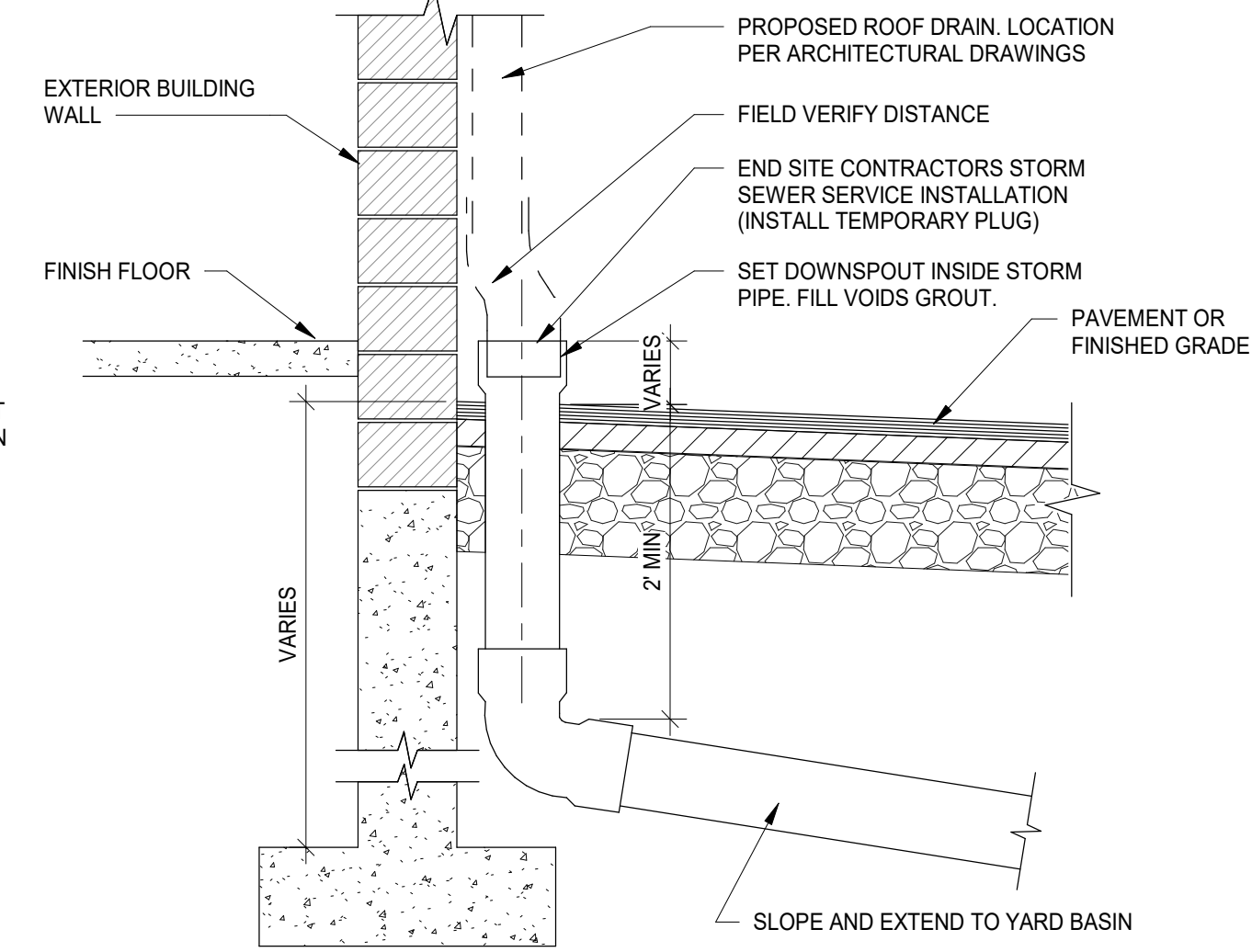
NOTES:
 1. COMPACT SUBGRADE TO A MODIFIED PROCTOR DENSITY OF 95%.
 2. SUBBASE COURSE SHALL HAVE NO MORE THAN 7% BY WEIGHT FINER THAN NO. 200 SIEVE.

STANDARD CONCRETE PAVEMENT SECTION
N.T.S.



NOTE: LOCATE BASIN AT LOW POINT IN GRASS AREA.

YARD BASIN DETAIL
N.T.S.



DOWNSPOUT DRAINAGE DETAIL
N.T.S.

GENERAL NOTES

- A. REFER TO A600 SERIES FOR WINDOW SCHEDULE AND DETAILS
- B. REFER TO SPECIFICATIONS FOR EXTERIOR MATERIAL INFORMATION
- C. CONTRACTOR TO FIELD VERIFY ALL EXISTING OPENINGS

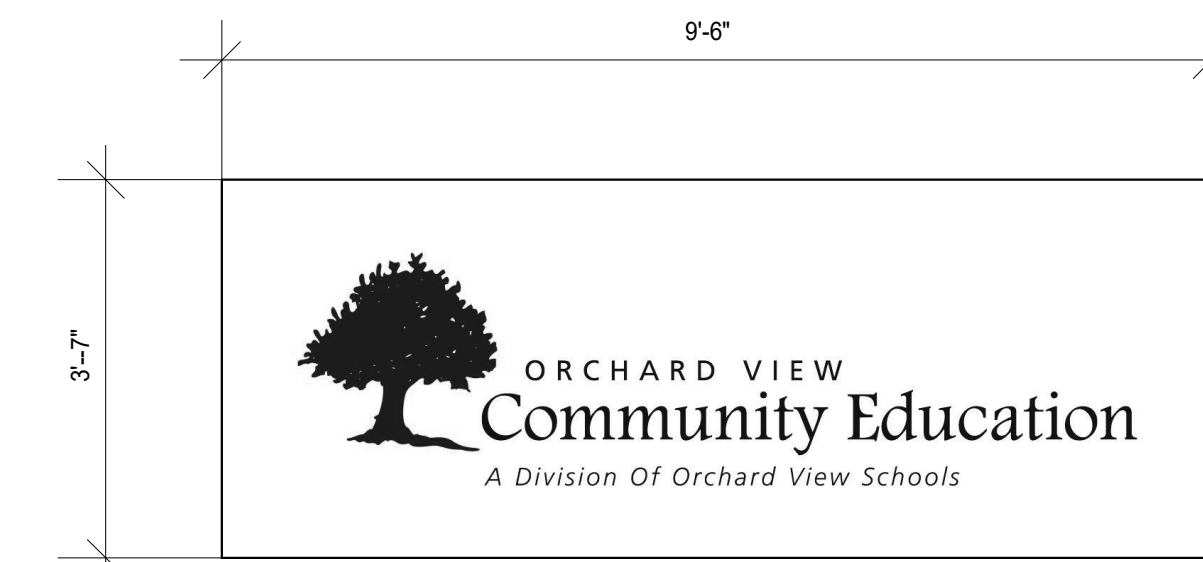
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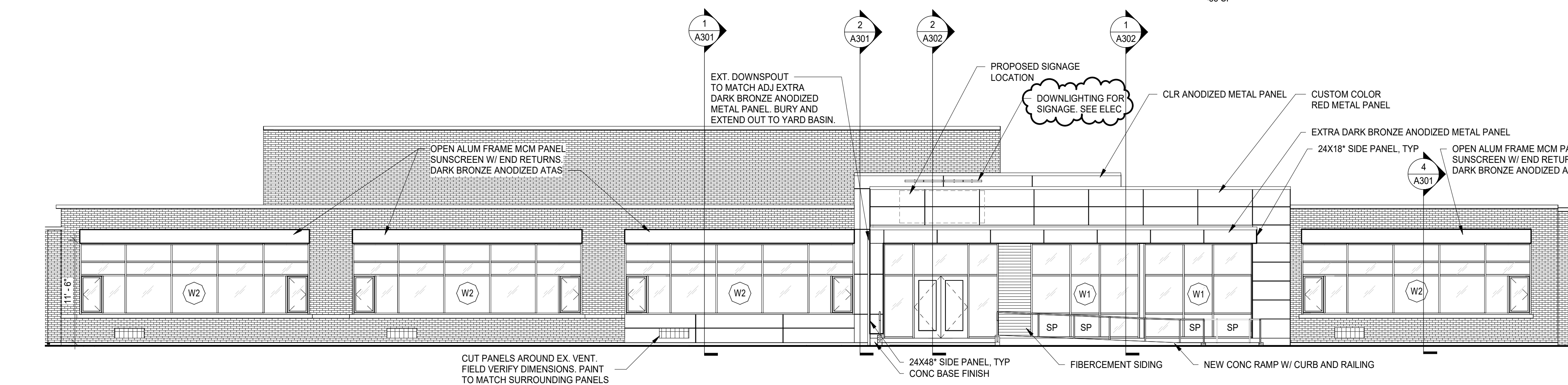
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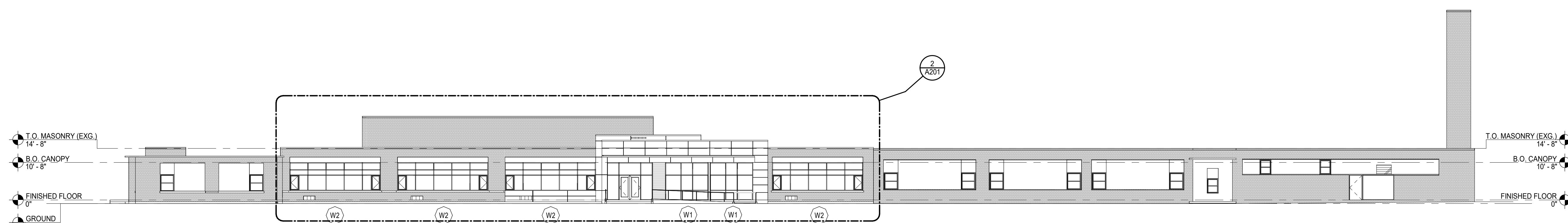
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PROPOSED SIGNAGE (BY OWNER)
 <35 SF



2 NORTH ELEVATION - ENLARGED AREA OF WORK
 SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

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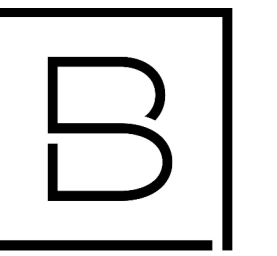
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D. HOLTROP	B. HUYLER
Designer	Reviewer
E. POST	R. KEUNEKE
Date Issued	Project Number
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Sheet Name

EXTERIOR ELEVATIONS

Drawing Number

A201

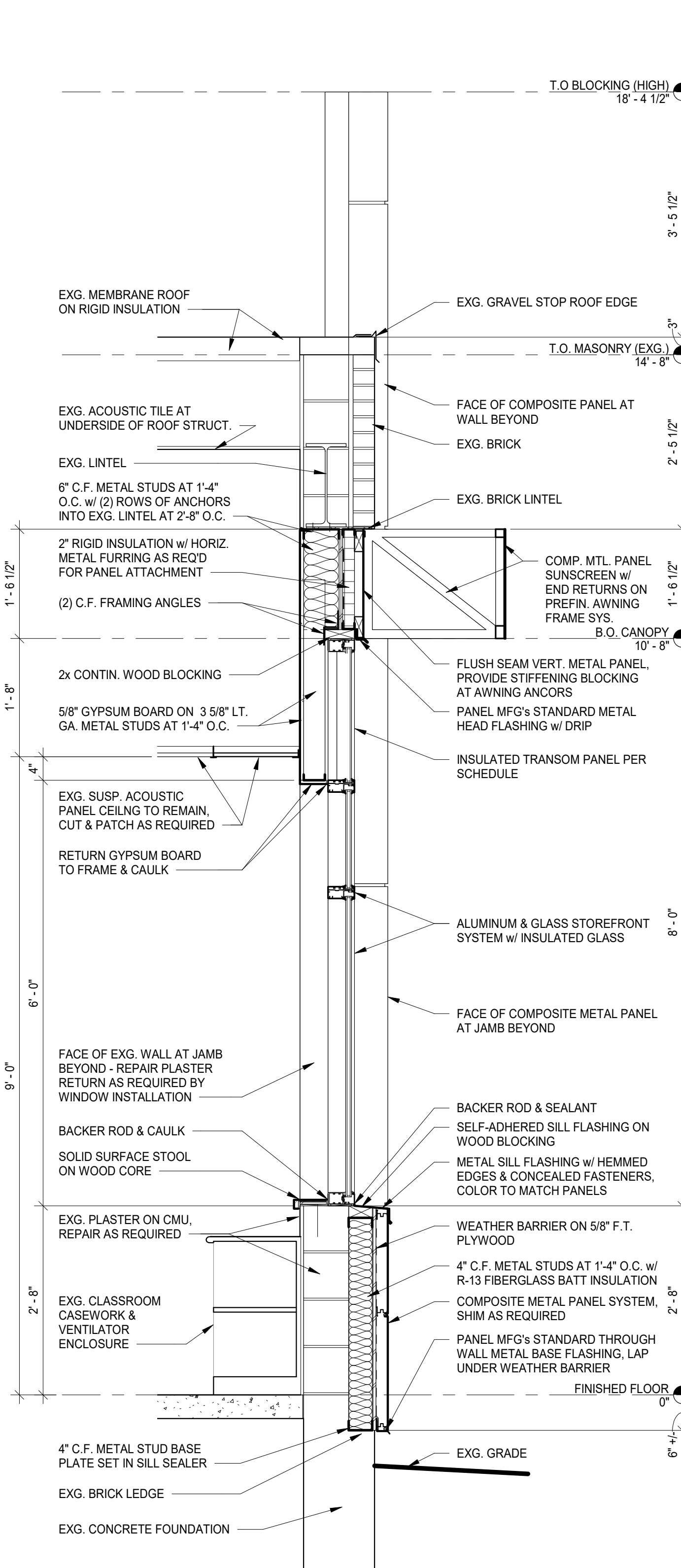


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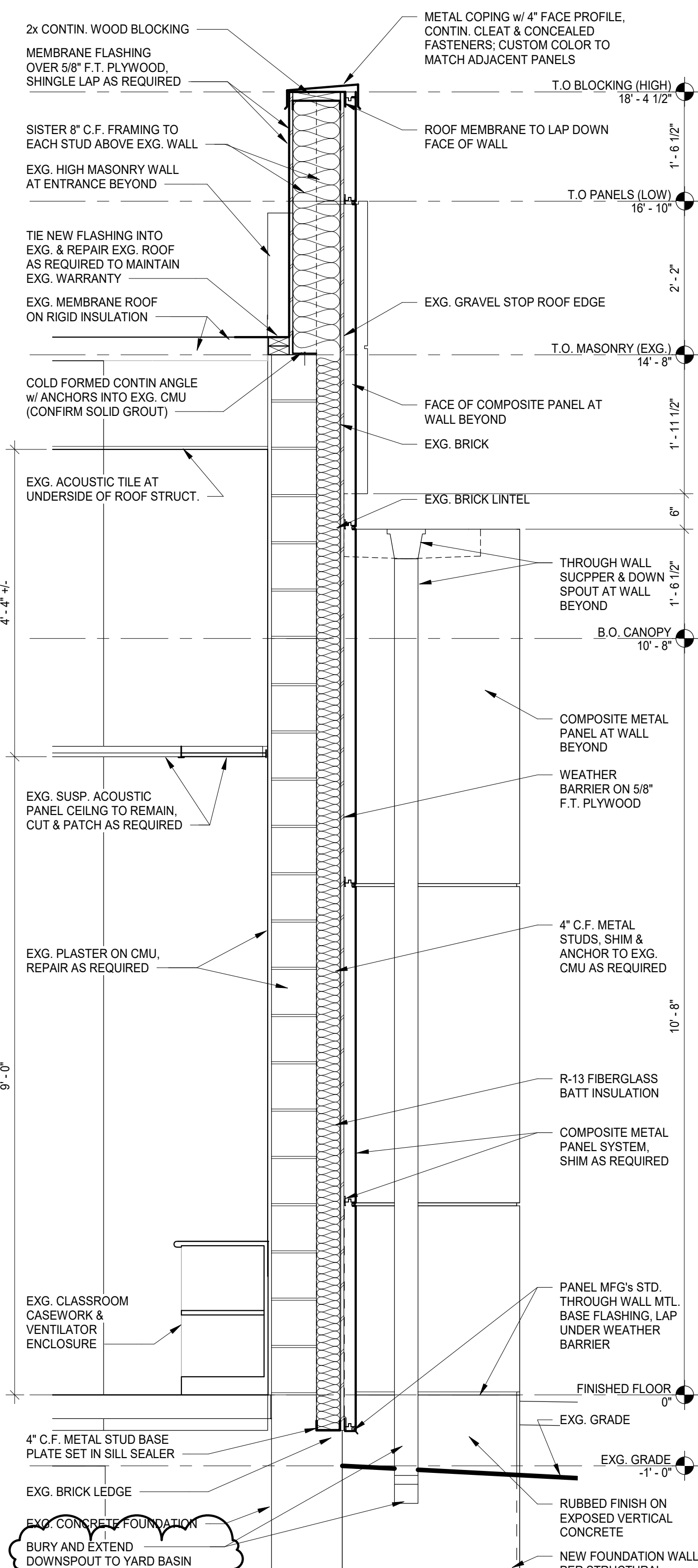
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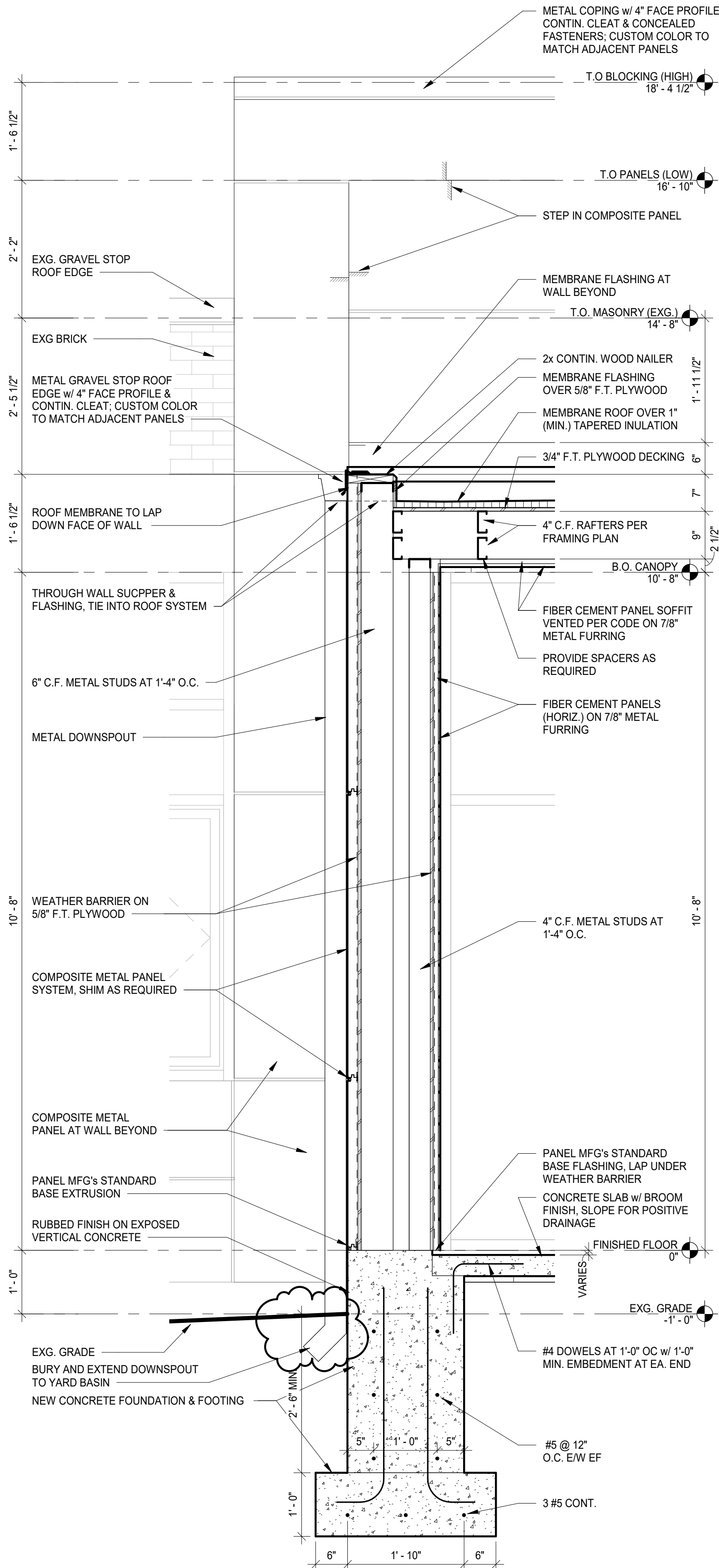
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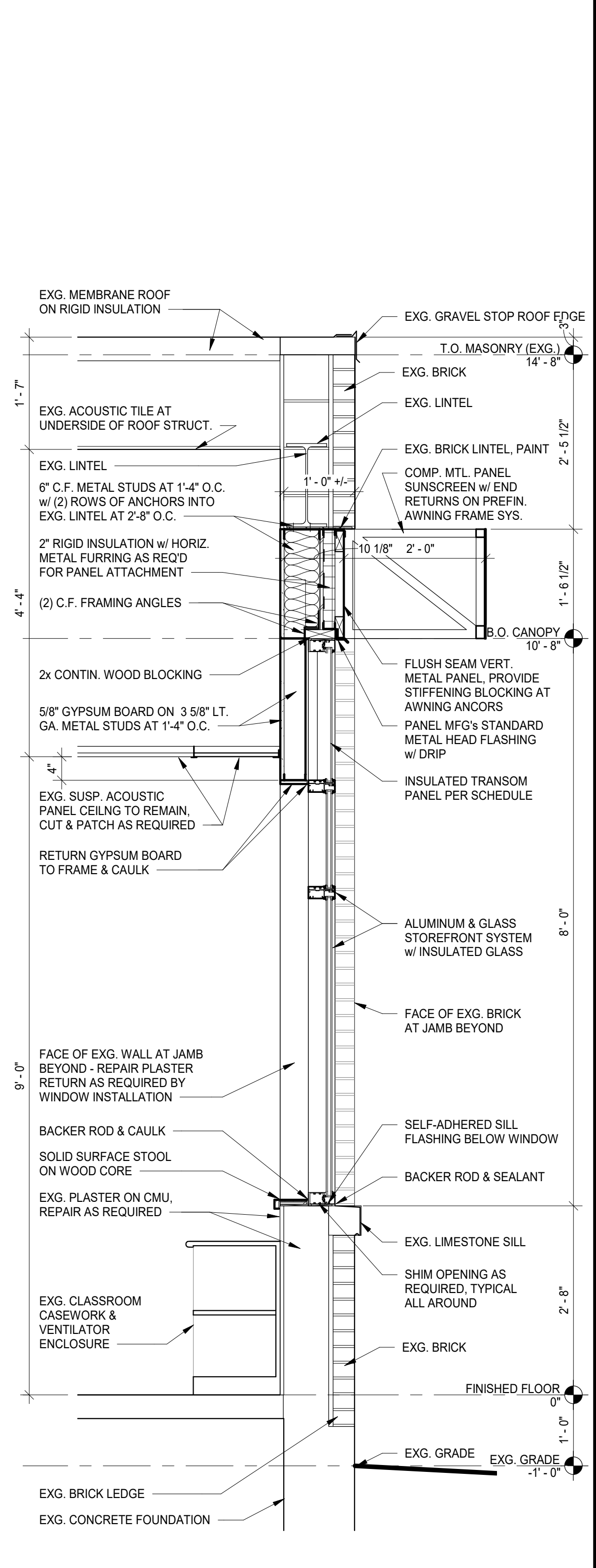
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SCALE : 3/4" = 1'-0"



2 WALL SECTION
SCALE : 3/4" = 1'-0"

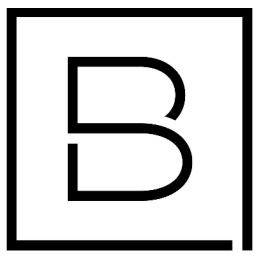


3 WALL SECTION
SCALE : 3/4" = 1'-0"



4 WALL SECTION (TYPICAL CLASSROOM)
SCALE : 3/4" = 1'-0"

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Designer	Reviewer
R. KEUNEKE	R. KEUNEKE
Date Issued	Project Number
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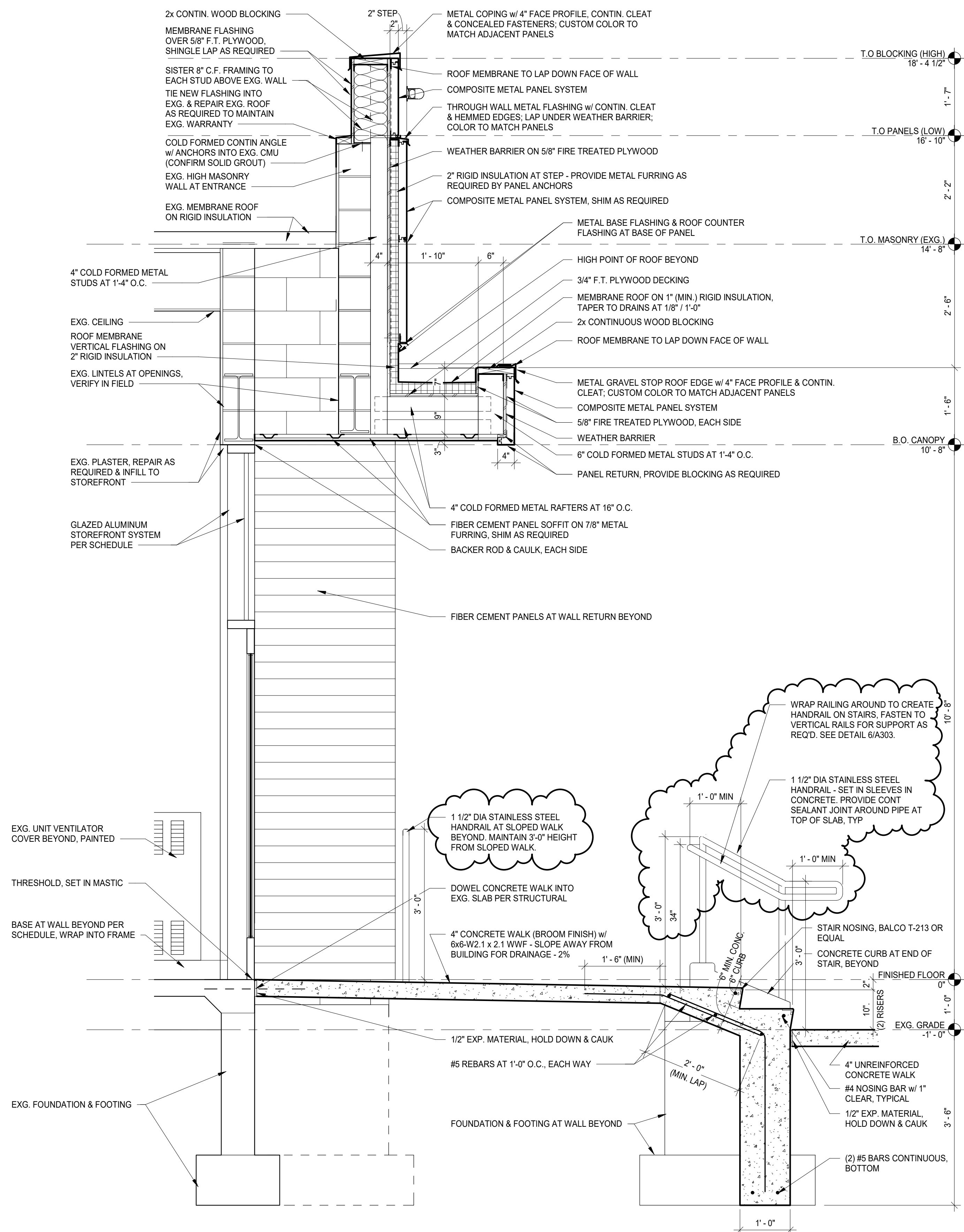


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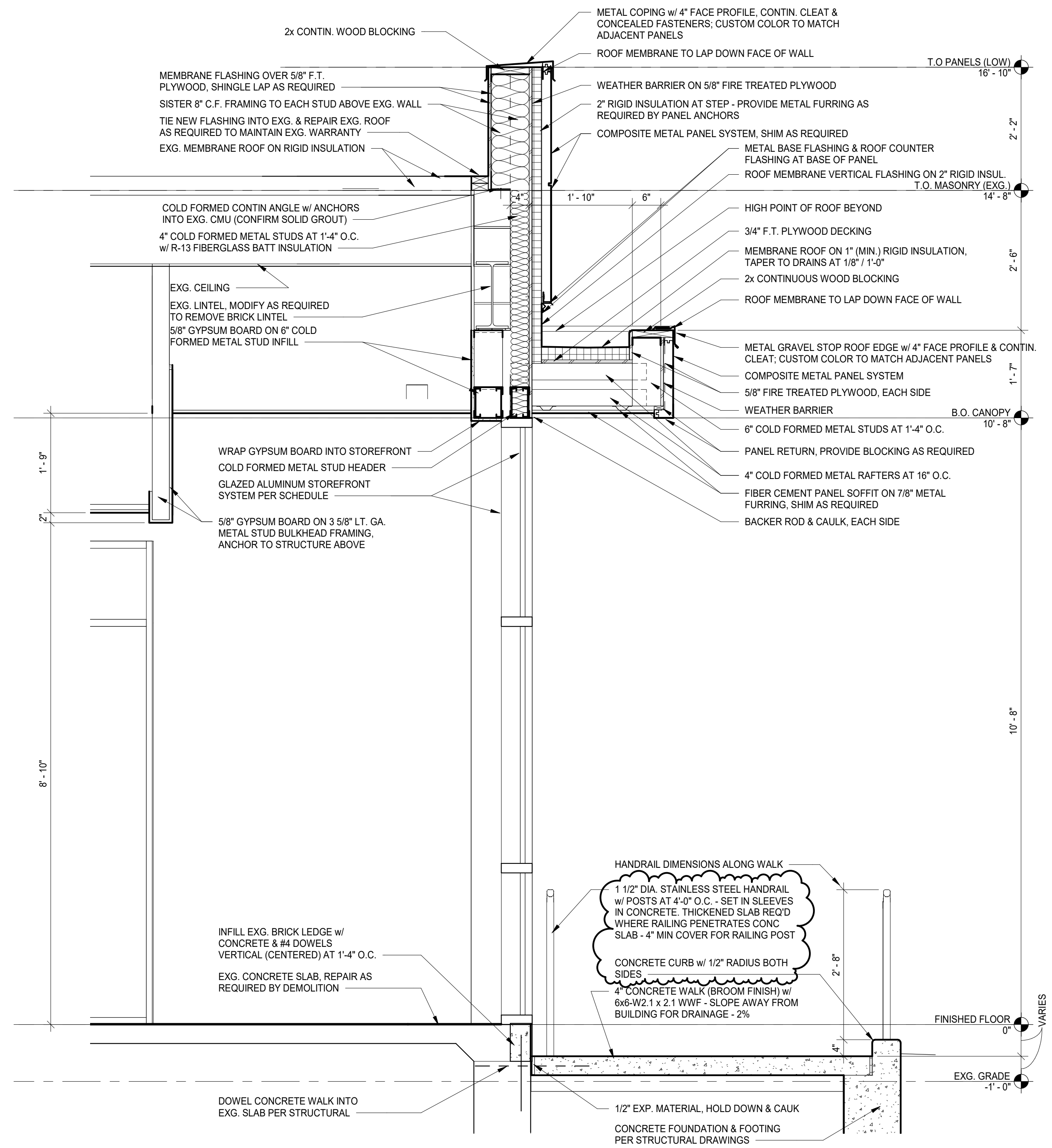
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2 WALL SECTION
SCALE: 3/4" = 1'-0"



1 WALL SECTION
SCALE: 3/4" = 1'-0"

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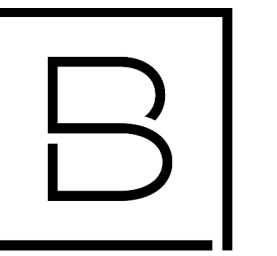
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Designer	Reviewer
R KEUNEKE	R KEUNEKE
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WALL SECTIONS

Drawing Number

A302



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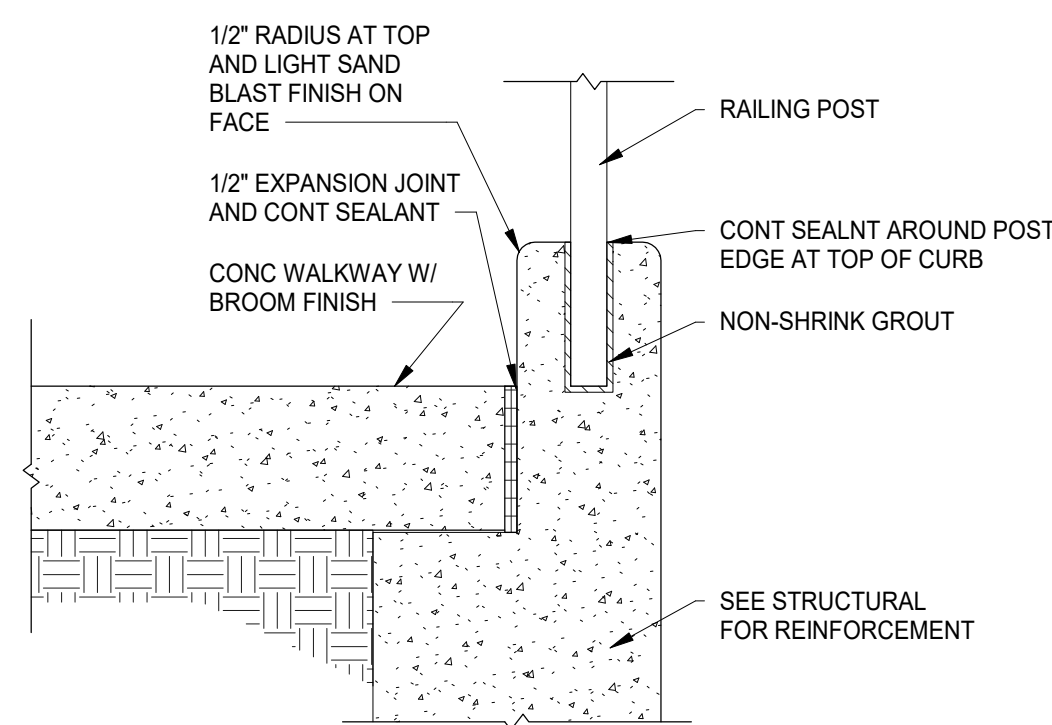
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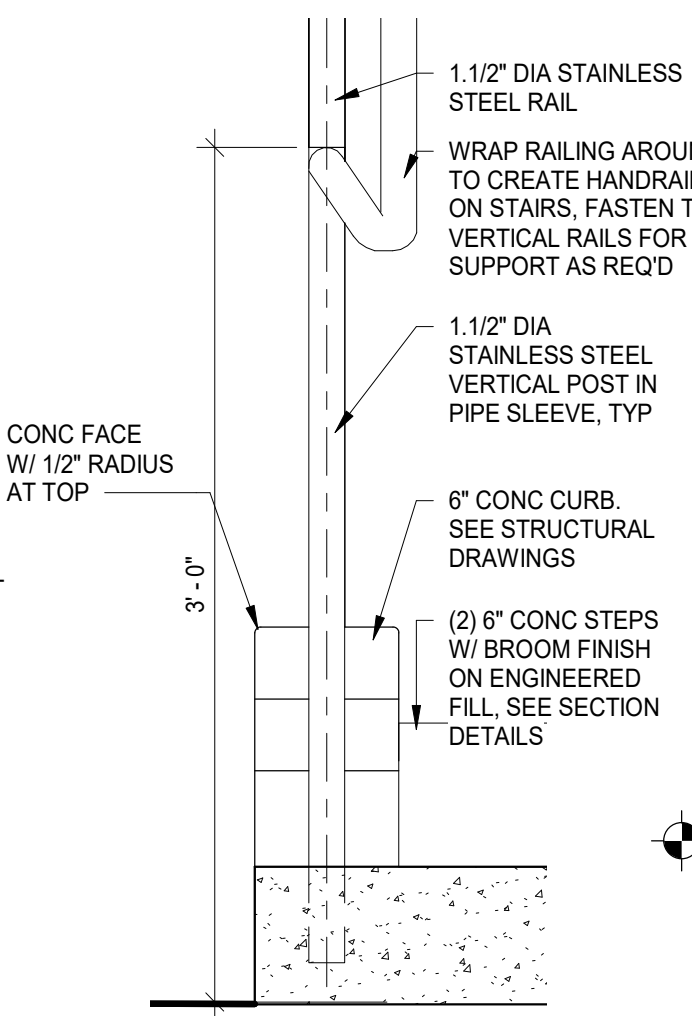
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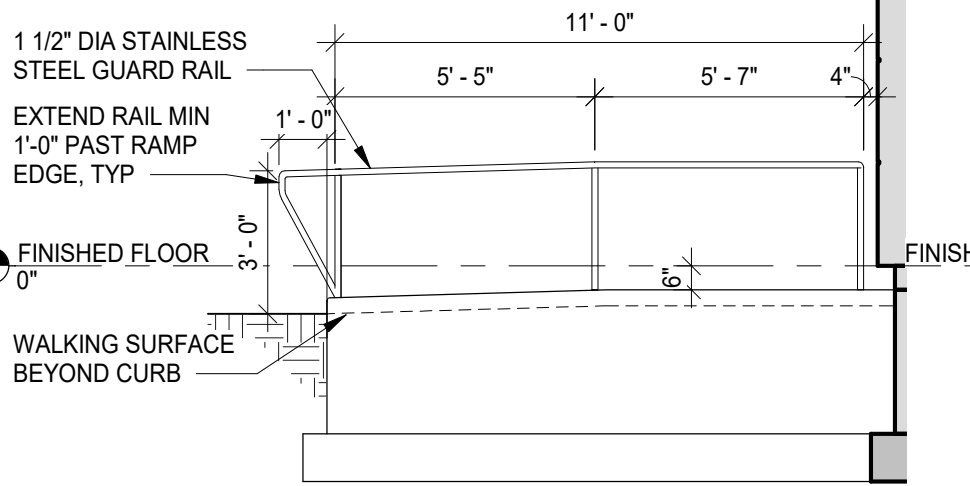
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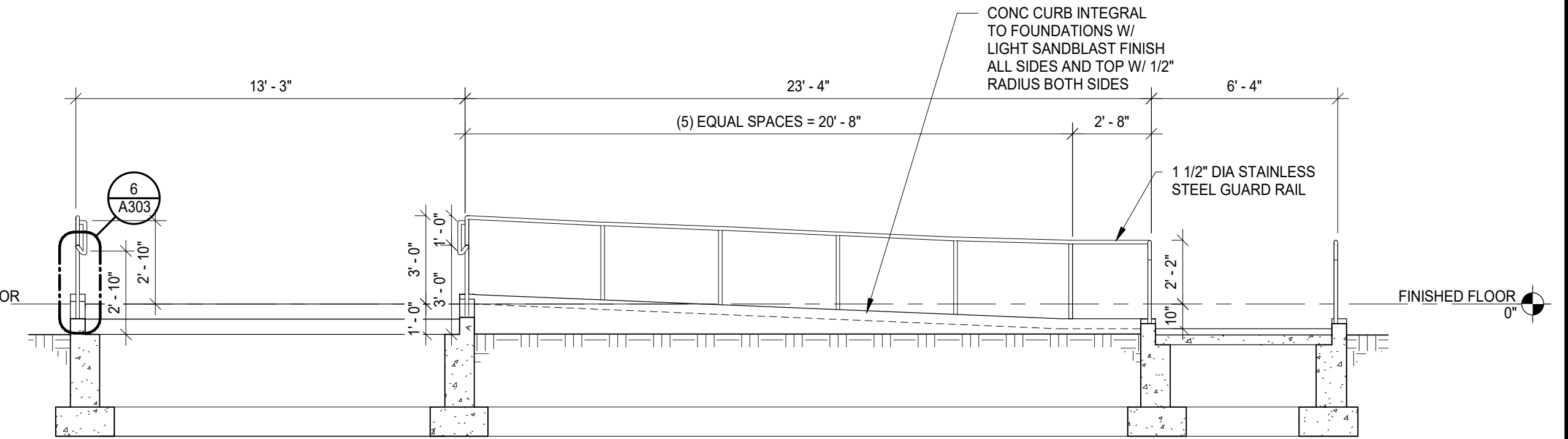
7 EMBEDDED RAIL POST DETAIL, TYP
SCALE : 1 1/2" = 1'-0"



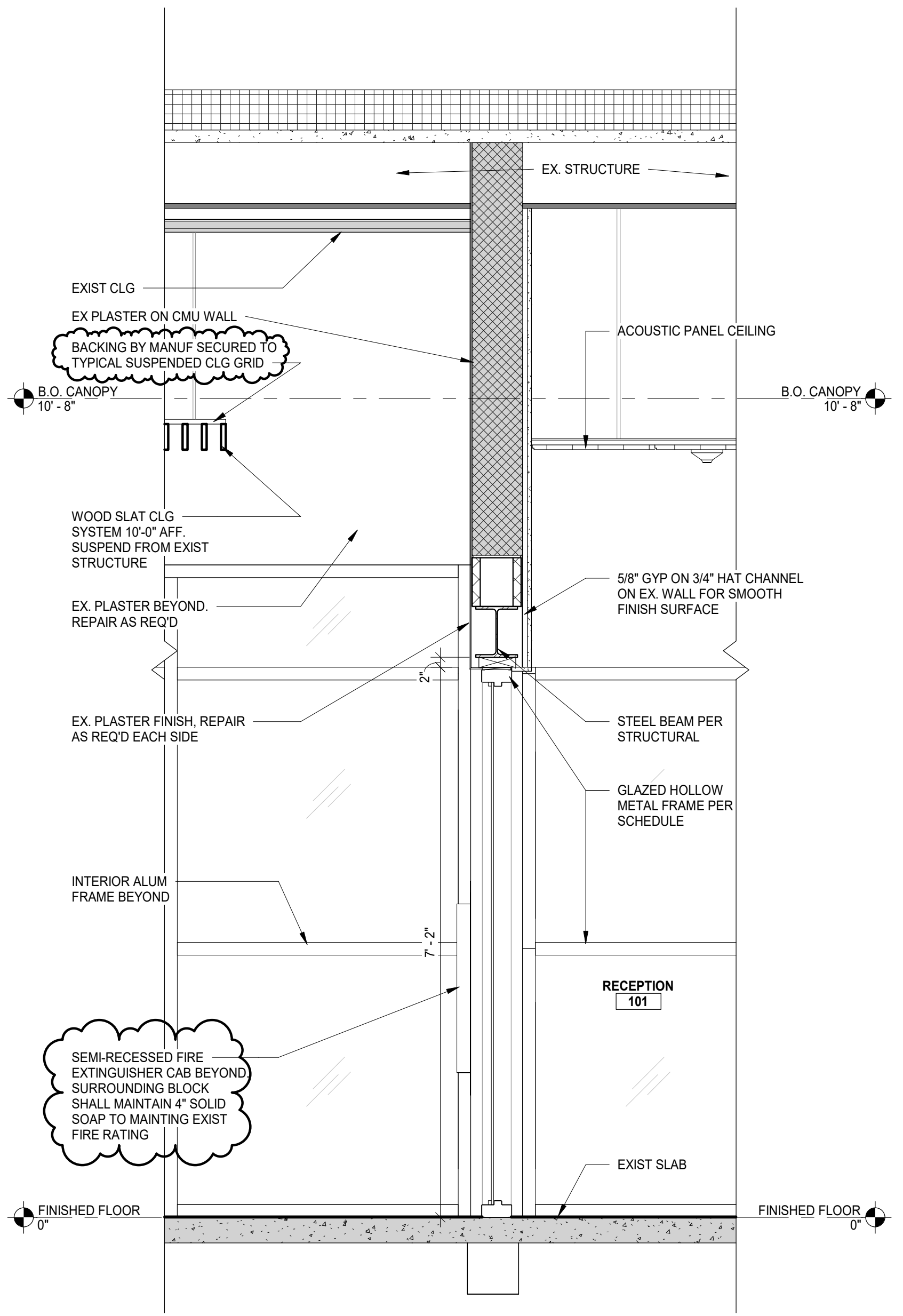
6 STAIR RAILING DETAIL
SCALE : 1 1/2" = 1'-0"



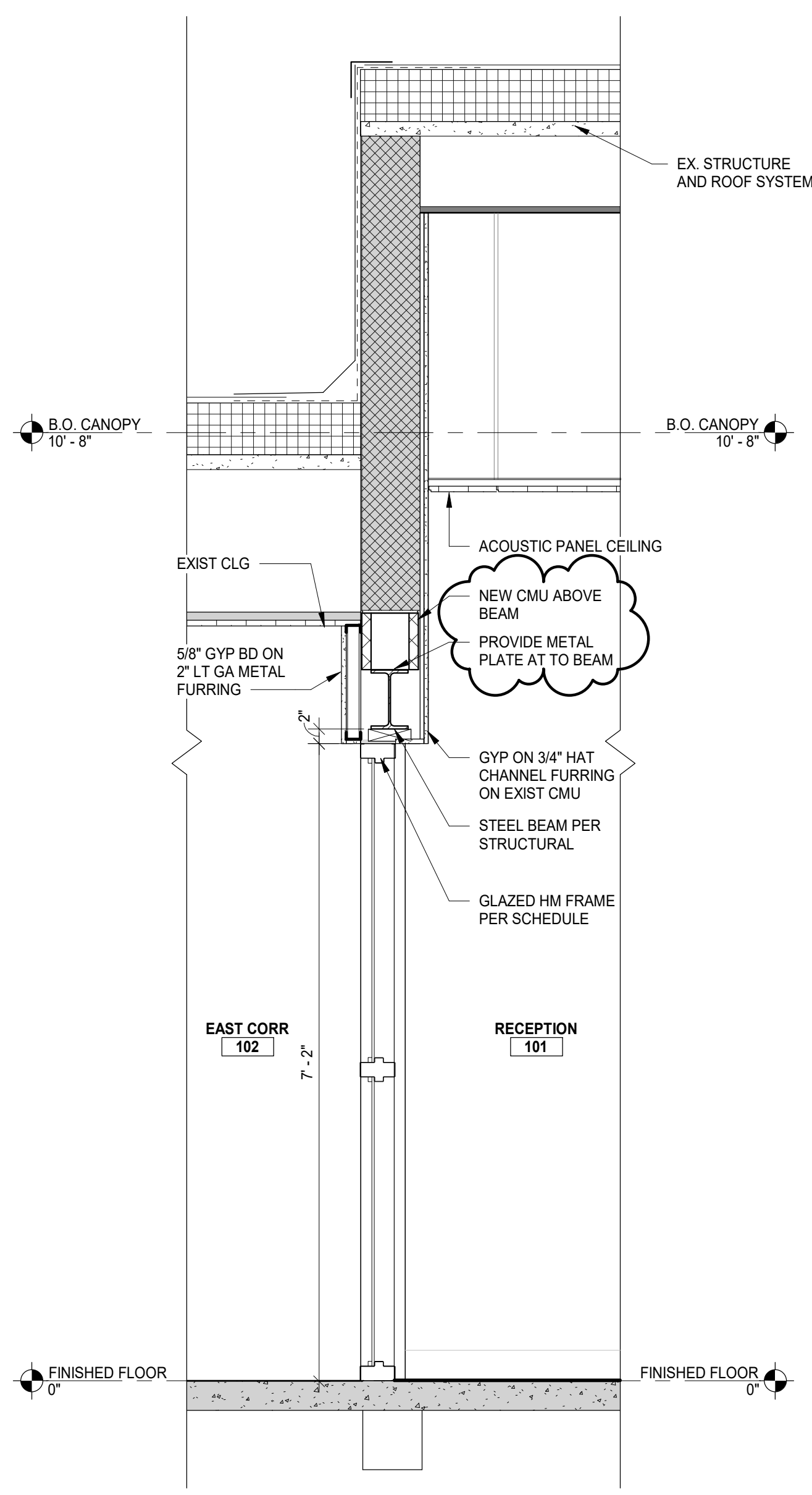
5 ENTRY RAMP - WEST ELEVATION
SCALE : 1/4" = 1'-0"



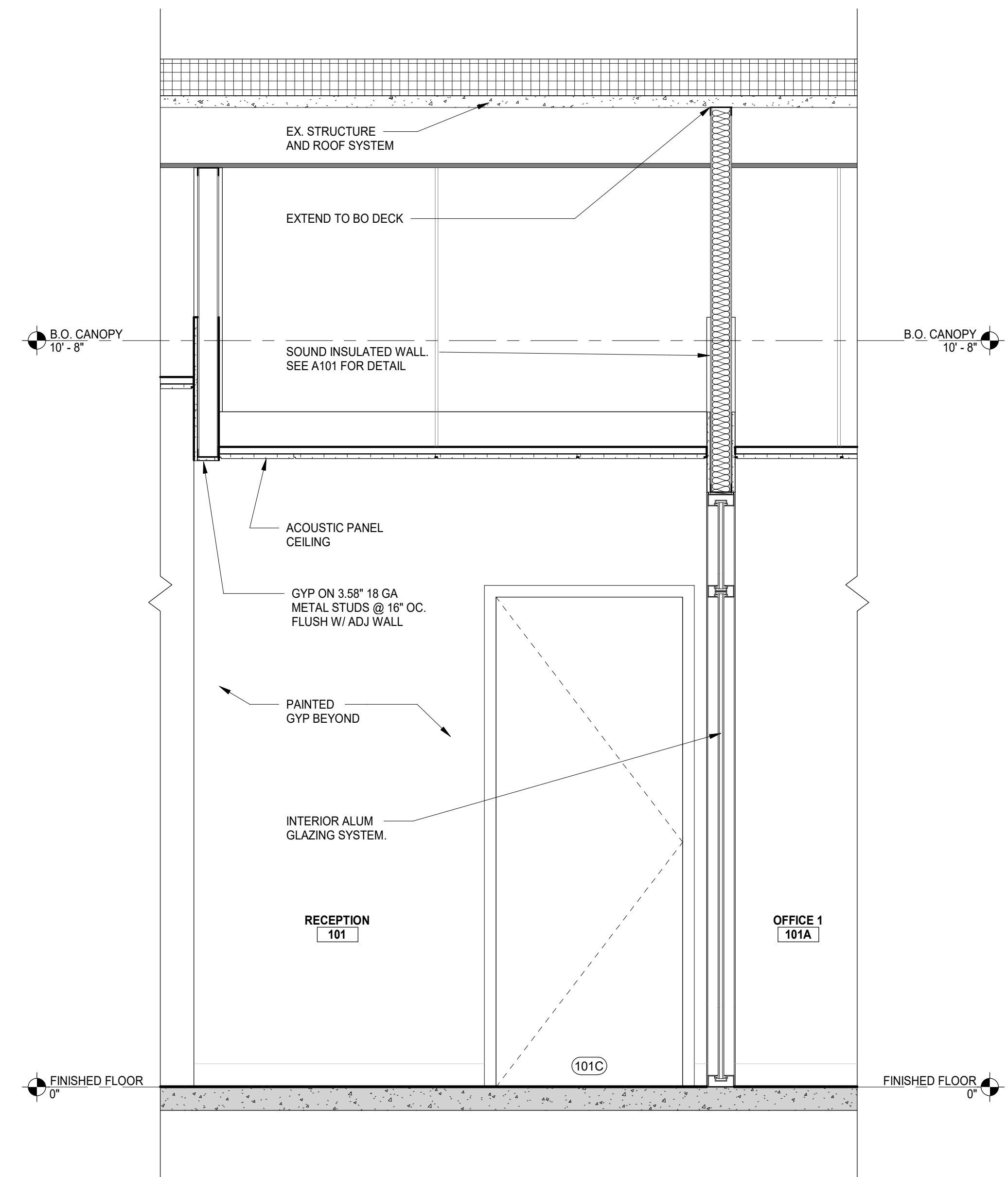
4 ENTRY RAMP - NORTH ELEVATION
SCALE : 1/4" = 1'-0"



3 VESTIBULE OPENING TO OFFICE
SCALE : 3/4" = 1'-0"



2 CORRIDOR WALL SECTION
SCALE : 3/4" = 1'-0"



1 OFFICE SECTION
SCALE : 3/4" = 1'-0"

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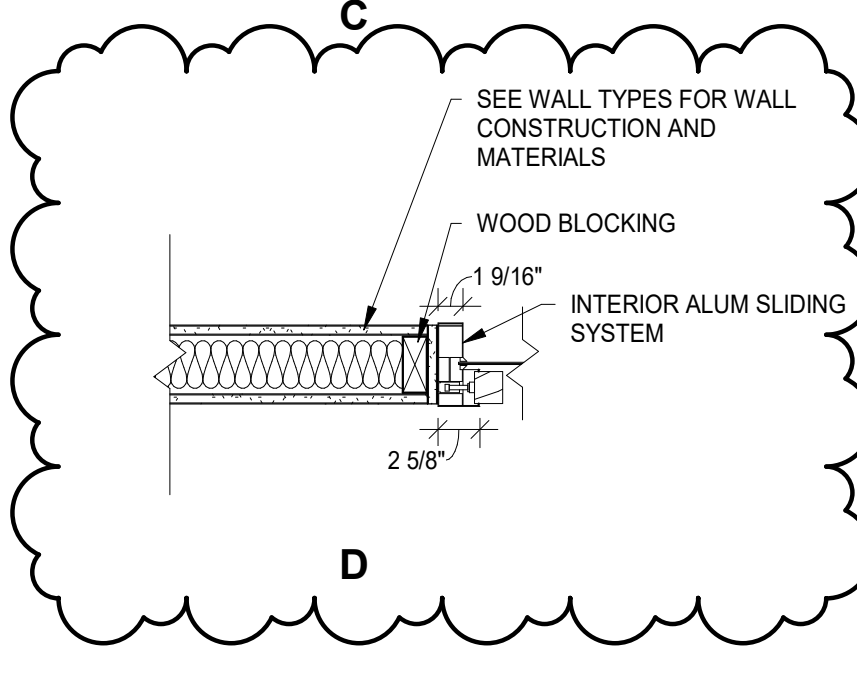
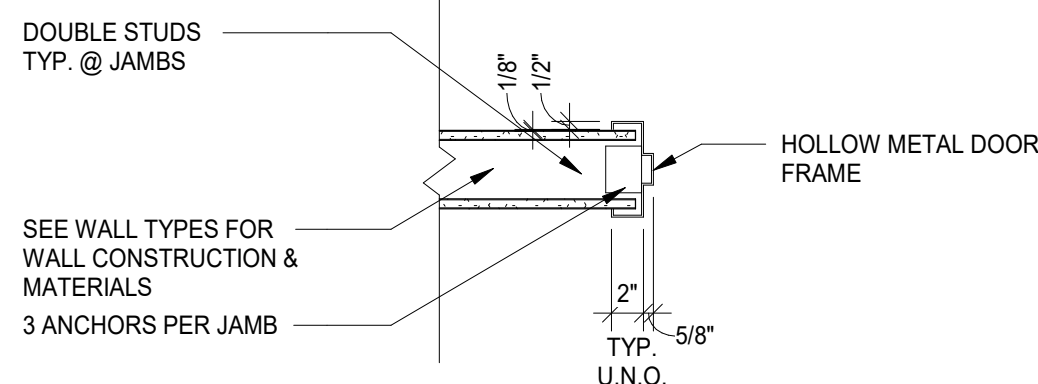
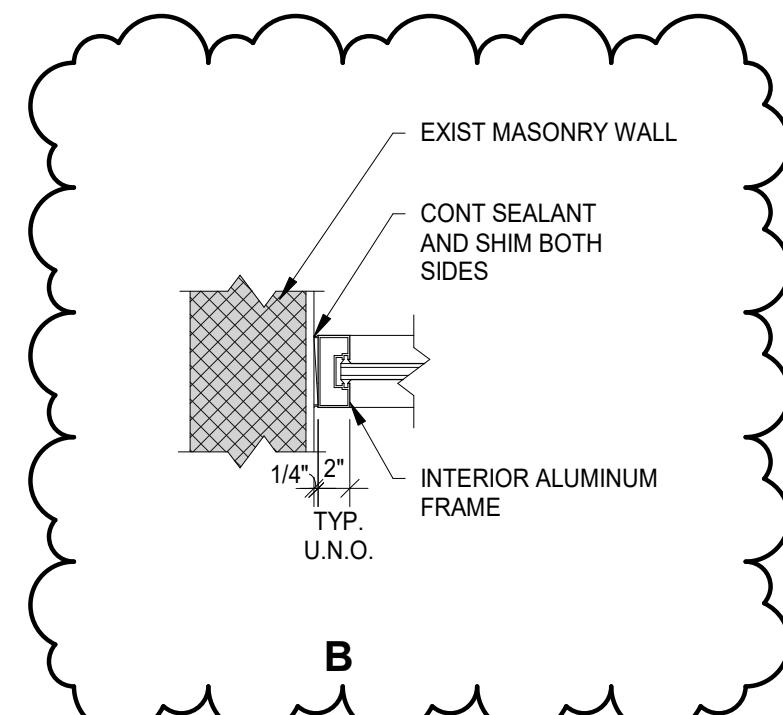
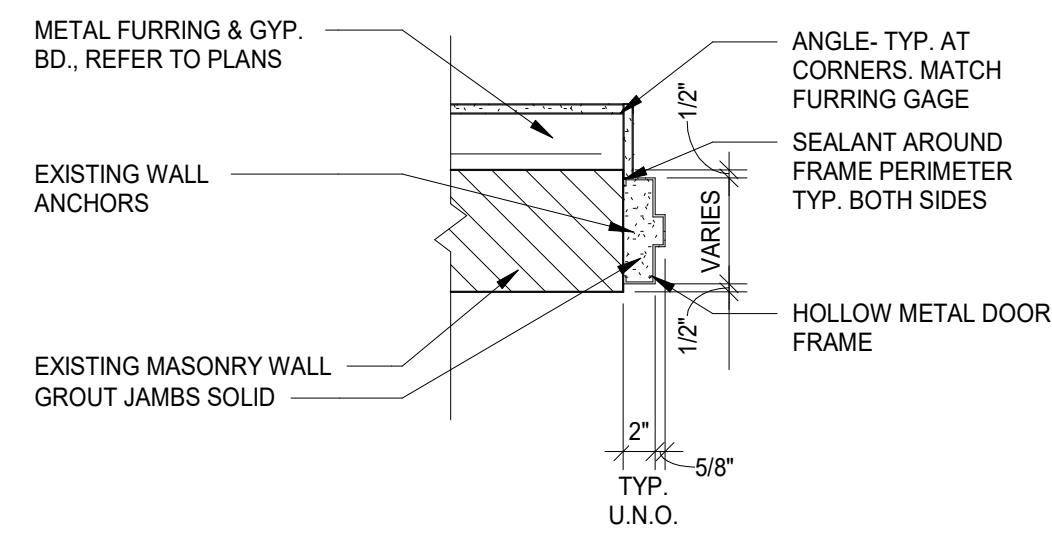
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D HOLTROP	B HUYLER
Designer	Reviewer
E POST	R KEUNEKE
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WALL SECTIONS

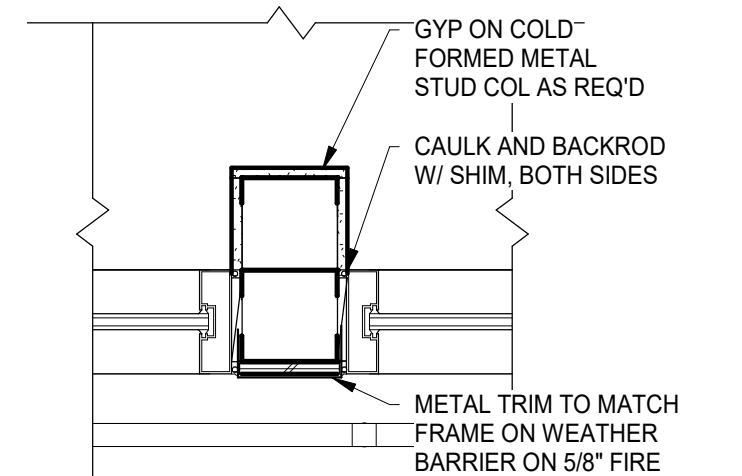
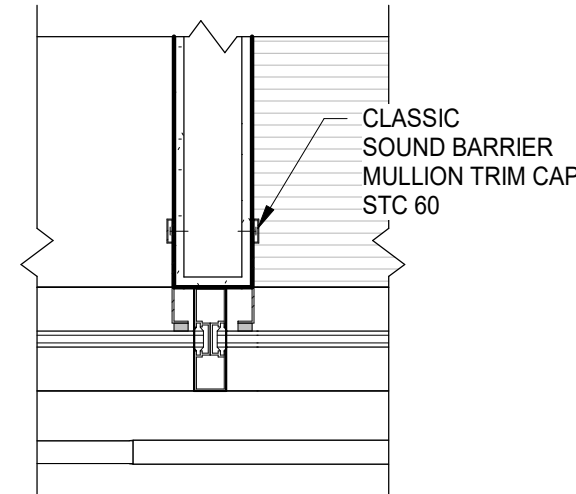
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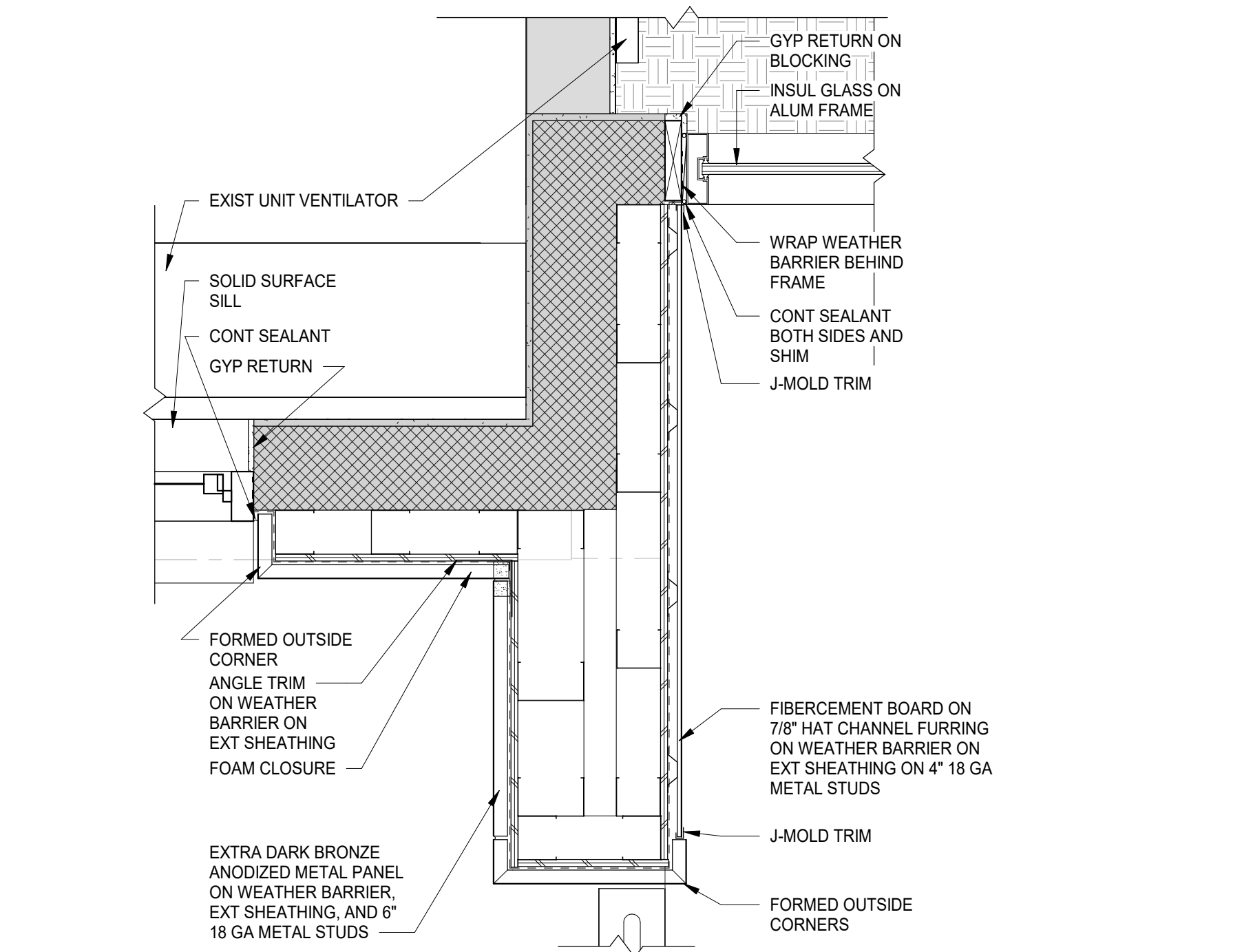
NOTE:
PROVIDE 4\"/>

JAMB DETAILS (HEAD DETAIL SIM.)

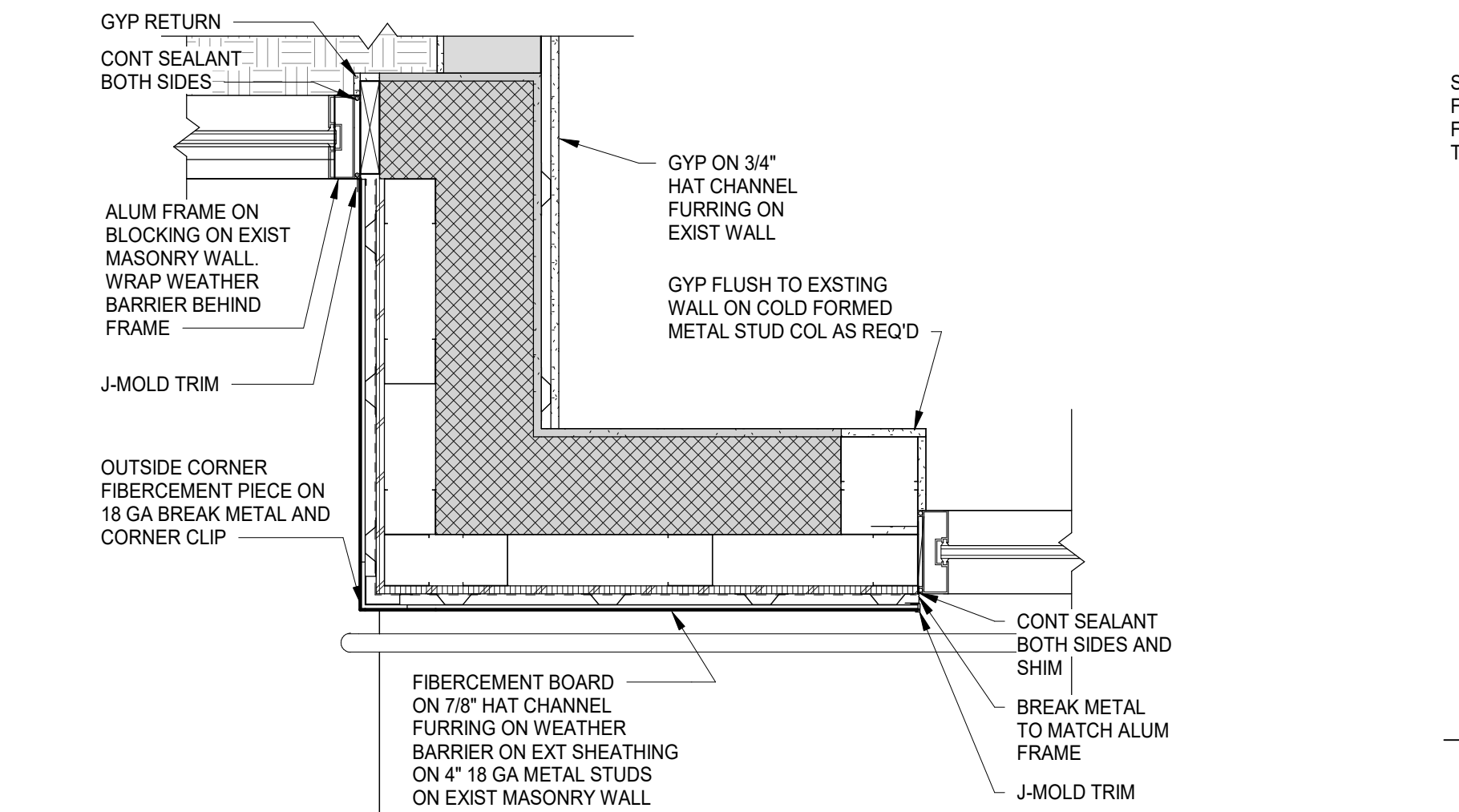


3 WALL TO WINDOW DETAIL
SCALE: 1" = 1'-0"

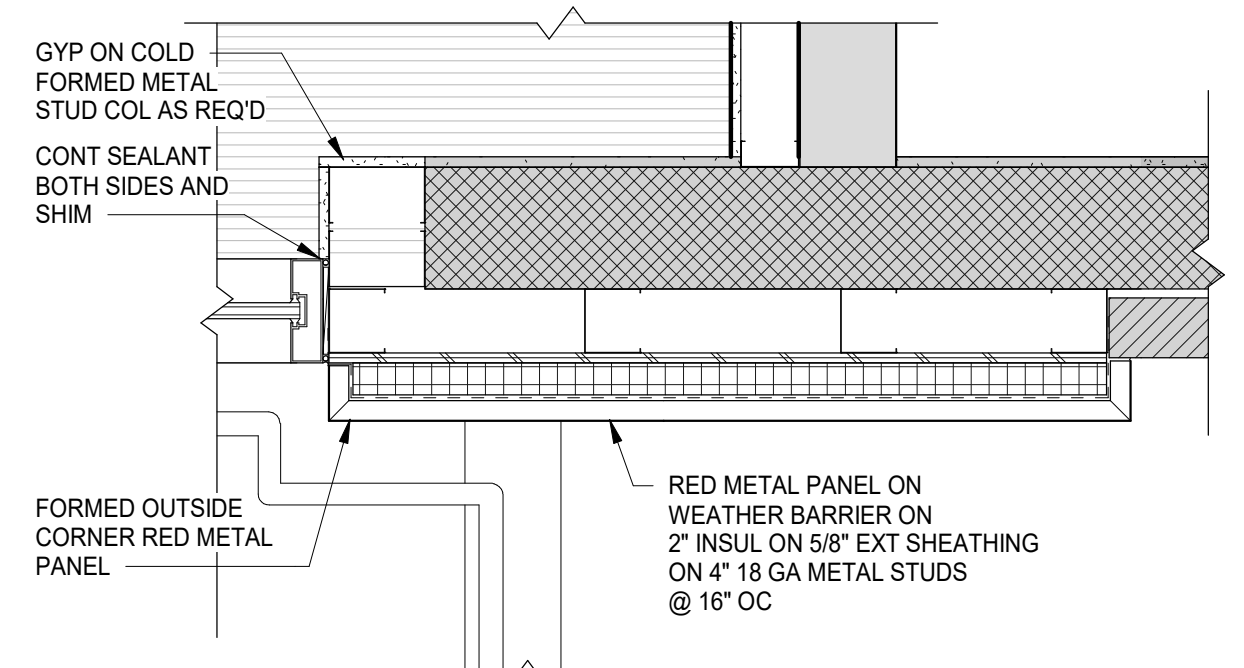
4 CENTER COL, WINDOW DETAIL
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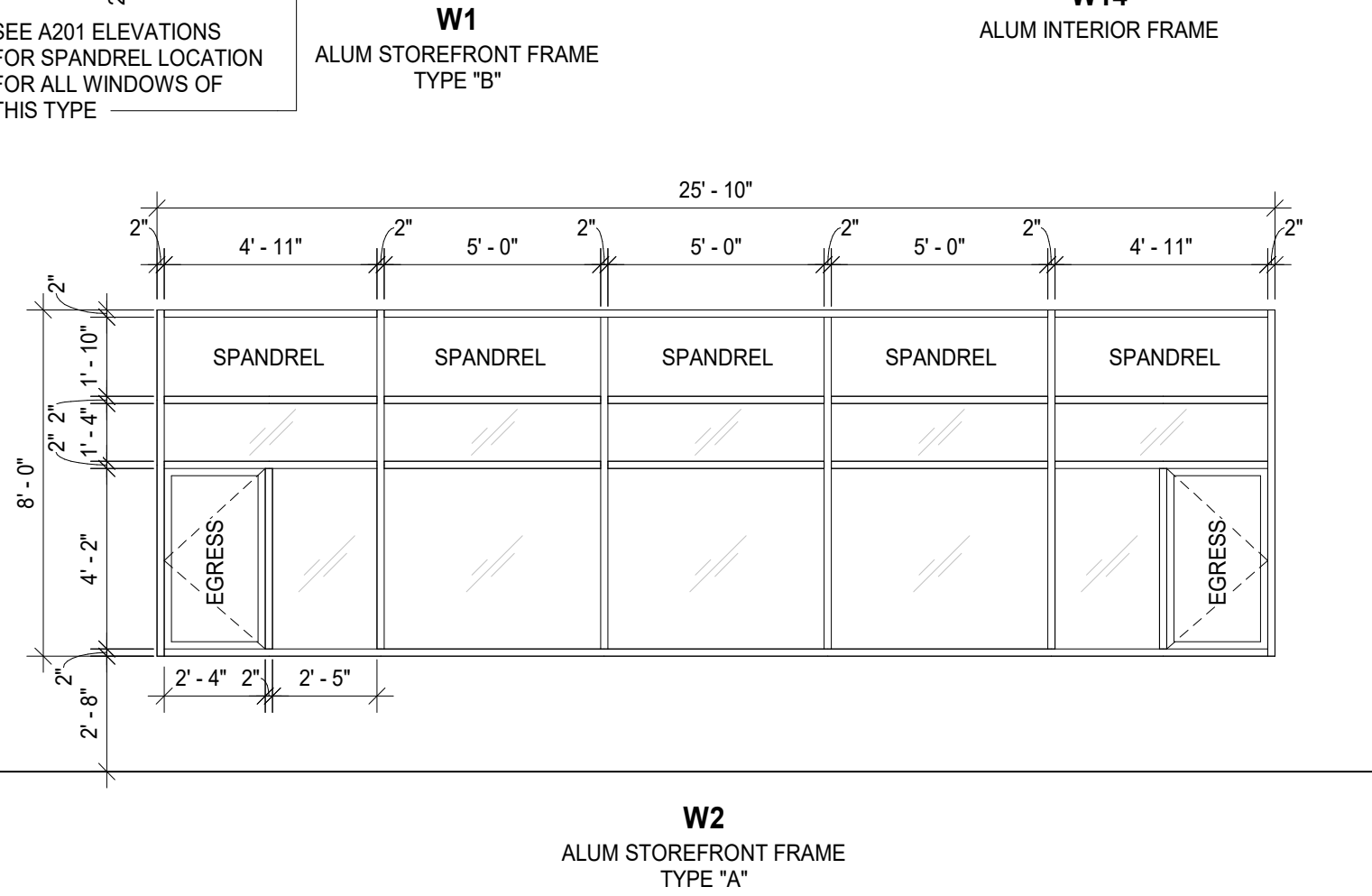
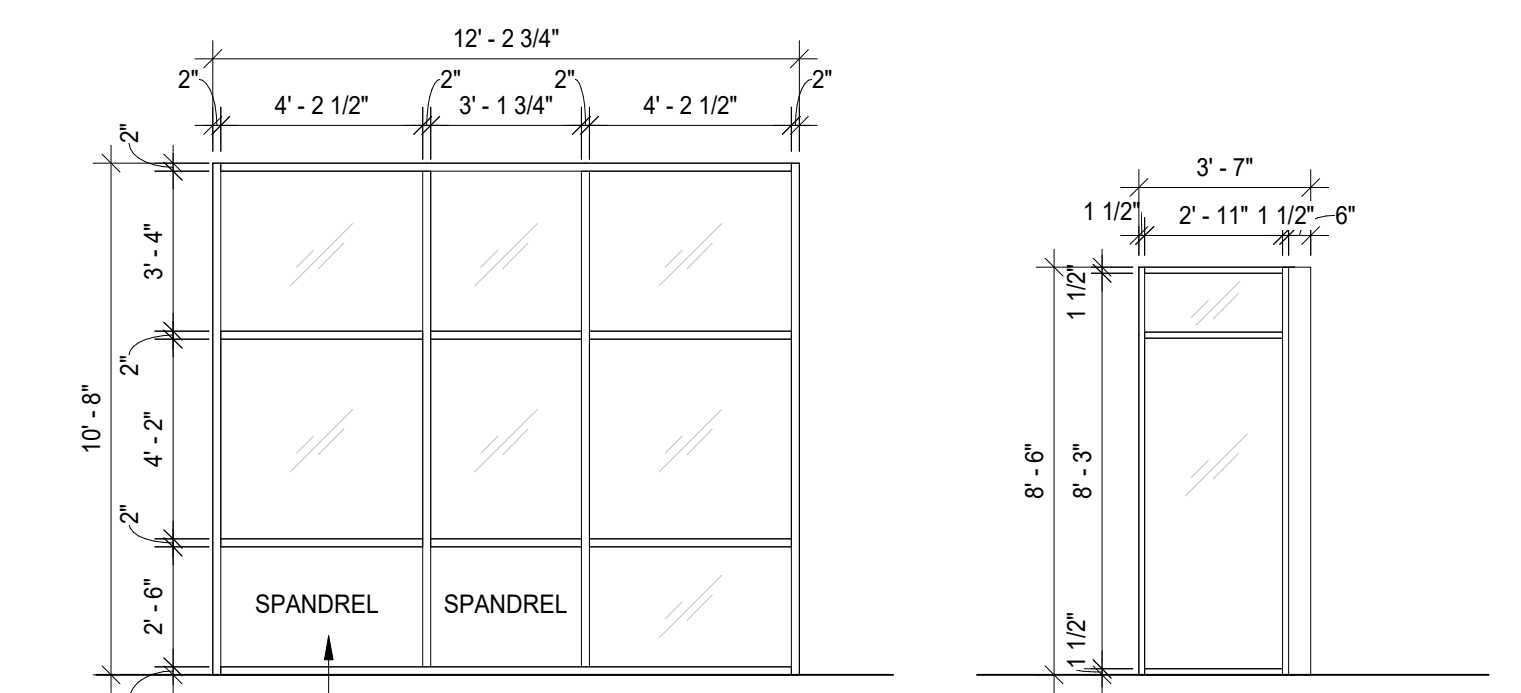
2 PLAN DETAIL B
SCALE: 1" = 1'-0"



1 PLAN DETAIL A
SCALE: 1" = 1'-0"

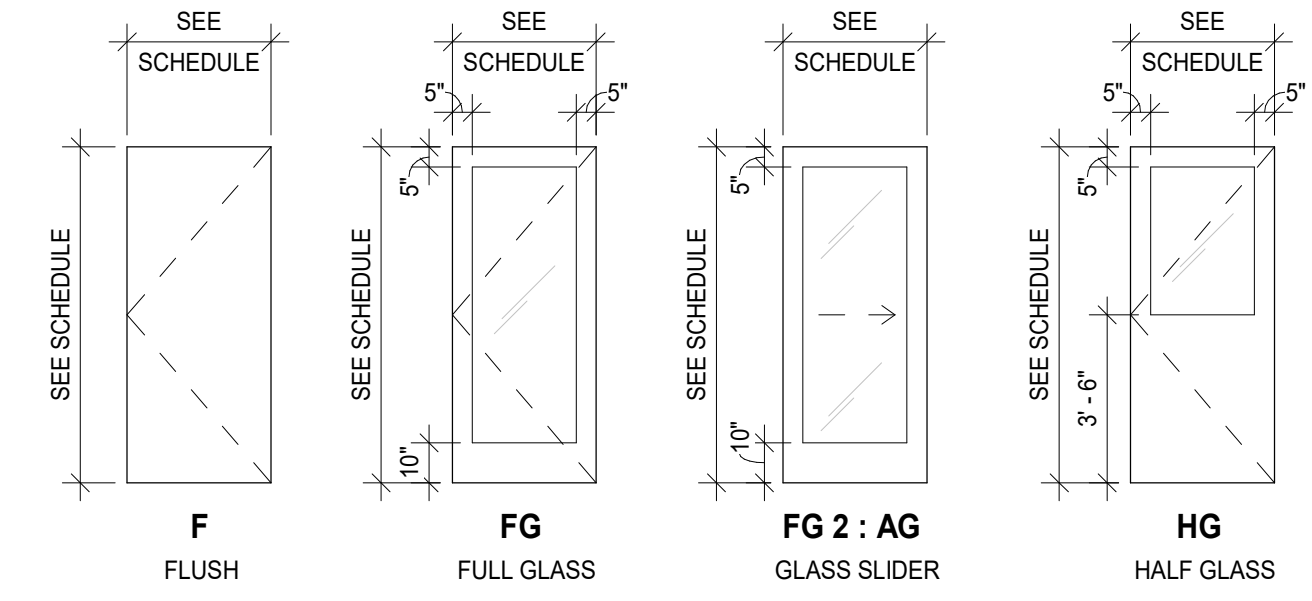


5 PLAN DETAIL C
SCALE: 1" = 1'-0"

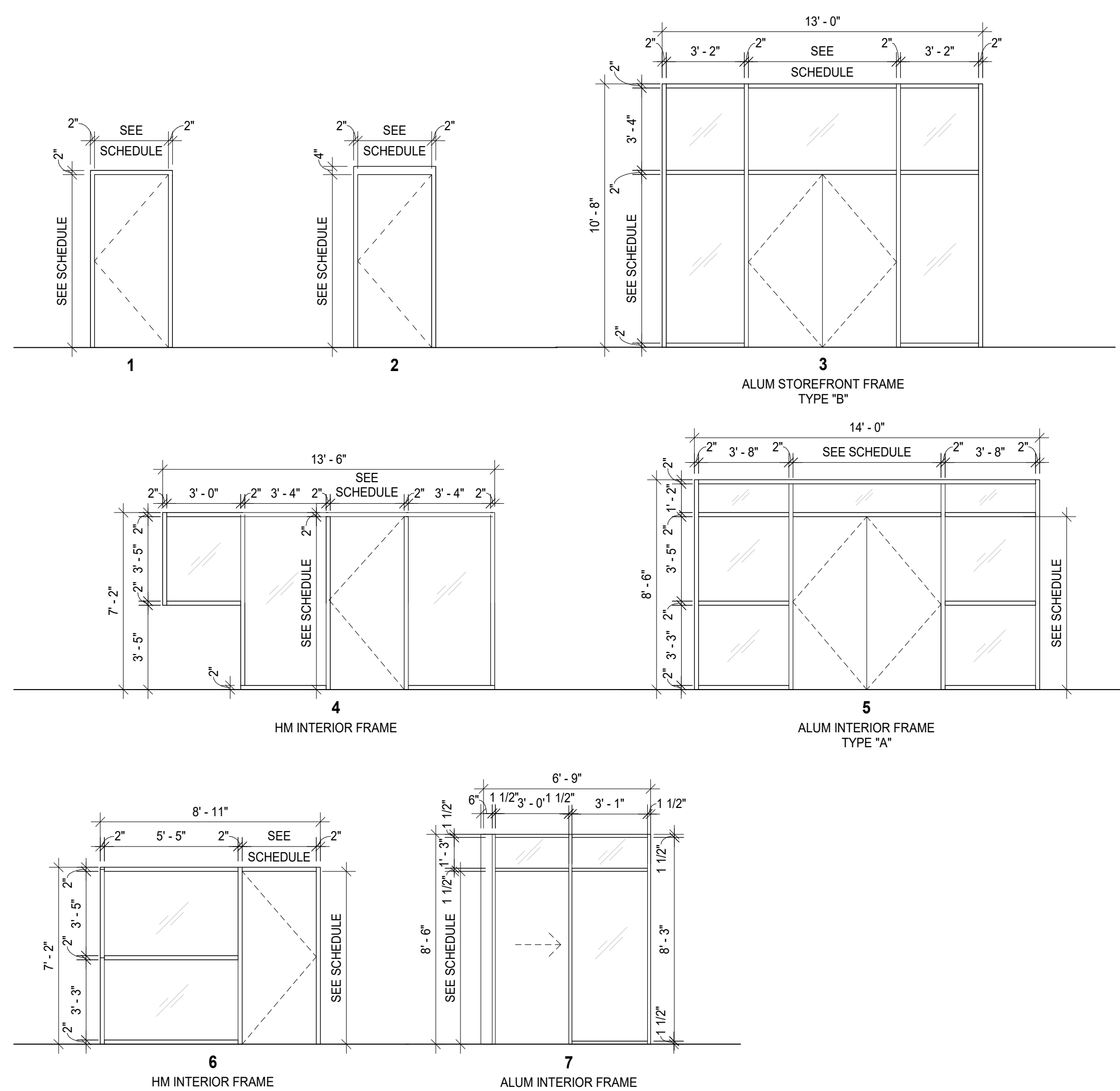


WINDOW - FRAME TYPES

DOOR SCHEDULE												
DOOR #	DOOR				FRAME			GENERAL				
	WIDTH	HEIGHT	THK.	TYPE	MAT-FIN	TYPE	MAT-FIN	DETAIL	HDWR	RATING	REMARKS	DOOR #
Existing												
102B	6' - 0"	7' - 0"	1 3/4"	HG	Phase - Exist	-	Phase - Exist	-	08	-	EXISTING DOOR AND FRAME TO RECEIVE HARDWARE	102B
Phase 1												
100B	6' - 0"	7' - 0"	1 3/4"	FG	ALUM - FF	5	ALUM - FF	B	06			100B
100C	3' - 0"	7' - 0"	1 3/4"	FG	WD - ST	4	HM - PT	A	05	20 MIN	45 MIN SIDELIGHT	100C
101A	3' - 1 1/2"	7' - 0"	2"	FG 2 : AG		7	ALUM - FF	D	09		PERIMETER SOUND SEALS	101A
101D	2' - 8"	7' - 0"	1 3/4"	F	WD - ST	1	HM - PT	C	02			101D
101C	2' - 8"	7' - 0"	1 3/4"	F	WD - ST	1	HM - PT	C	01			101C
101B	3' - 1 1/2"	7' - 0"	2"	FG 2 : AG		7	ALUM - FF	D	09		PERIMETER SOUND SEALS	101B
102A	3' - 0"	7' - 0"	1 3/4"	HG	WD - ST	6	HM - PT	A	04	20 MIN	45 MIN SIDELIGHT	102A
100A	6' - 0"	7' - 0"	1 3/4"	FG	ALUM - DK BRONZE ANODIZED	3	ALUM - DK BRONZE ANODIZED	1, 2/A601	07			100A



DOOR - TYPES



DOOR - FRAME TYPES

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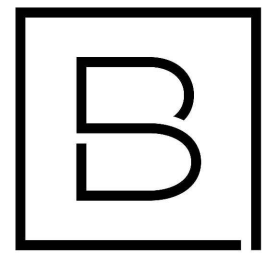
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Designer	Reviewer
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SCHEDULES, DOOR AND WINDOW DETAILS

Drawing Number

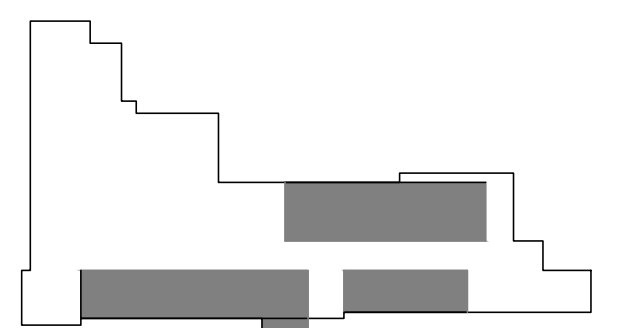
A601


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① 2-15-2023	BID PACKAGE #1 - ADDENDUM #1

CHRISTOPHER J. NOLAN, P.E.
MI - REGISTRATION# 6201643863
EXP. DATE# 4/14/2023

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D. HOLTROP	B. HUYLER
Designer	Reviewer
C. SCHOLTEN	C. NOLAN
Date Issued	Project Number
02/15/2023	22013309A

Sheet Name

**FIRST FLOOR
MECHANICAL & PLUMBING
DEMOLITION PLAN**

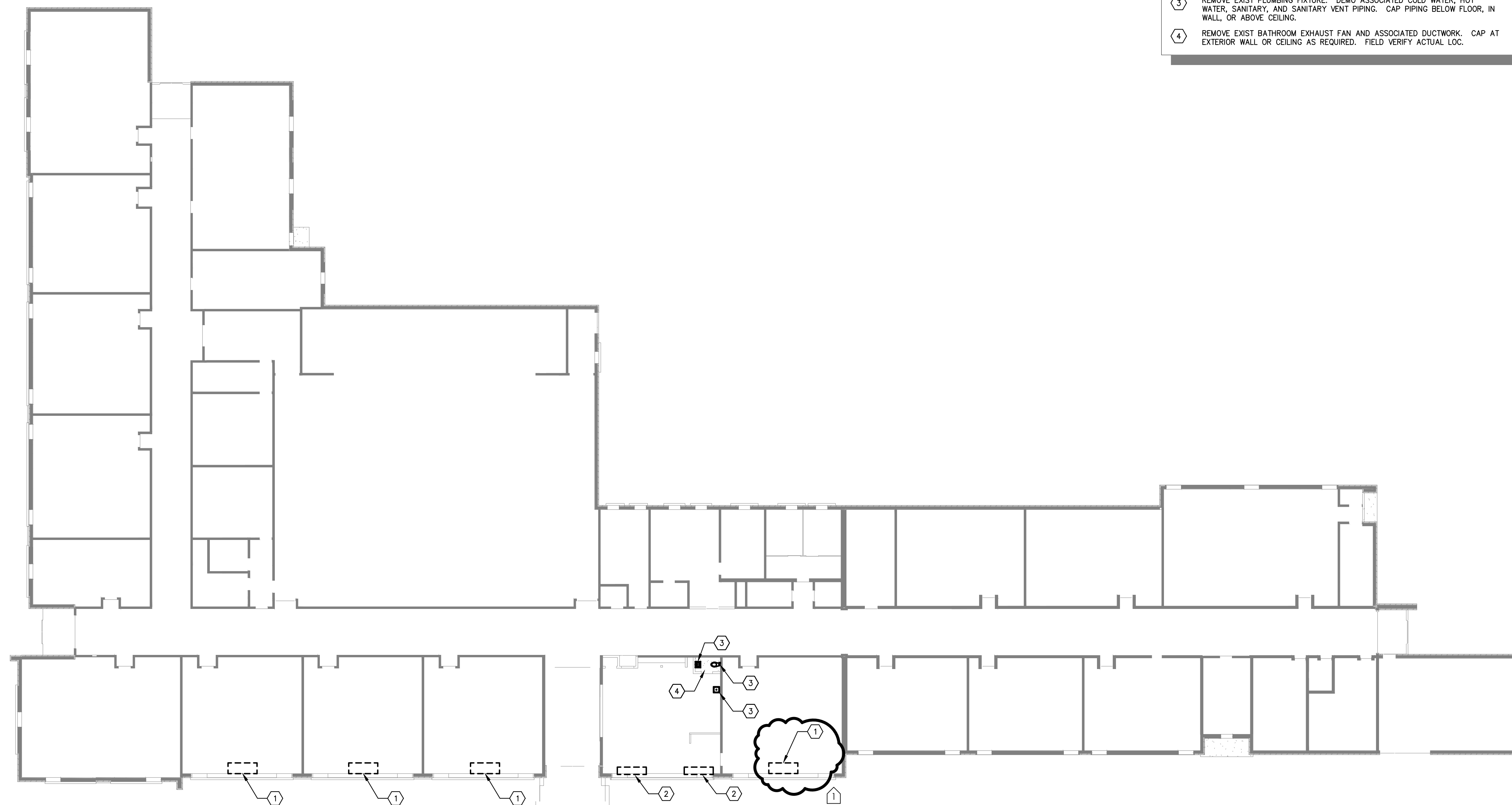
Drawing Number

MD01
GENERAL HVAC AND PLUMBING DEMOLITION NOTES:

1. ALL EXISTING FIXTURES, PIPING, AND EQUIPMENT SHOWN AS DASHED SHALL BE REMOVED. PROTECT EXISTING WORK WHICH IS TO REMAIN IN PLACE FOR REUSE WITH TEMPORARY COVERS, SHORING, BRACING, AND SUPPORTS.
2. ALL EQUIPMENT TO BE REMOVED SHALL BE INSPECTED AND REVIEWED BY THE OWNER FOR POSSIBLE REUSE. EXCEPT WHERE INDICATED OTHERWISE, ALL MATERIALS AND EQUIPMENT REMOVED AND NOT REUSED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE OWNERS PROPERTY.
3. DO NOT INTERRUPT OR CONNECT INTO ANY SERVICE PIPING, ELECTRICAL, OR INSTRUMENTATION WORK WITHOUT PRIOR APPROVAL FROM THE OWNERS REPRESENTATIVE.
4. CONTRACTOR SHALL FIELD VERIFY LOCATION(S) OF EXISTING FIXTURES, PIPING, OR EQUIPMENT TO BE REMOVED.
5. COORDINATE WITH GENERAL CONTRACTOR FOR WALL, ROOF, AND FLOOR REPAIR WORK LEFT BY REMOVED ITEMS.

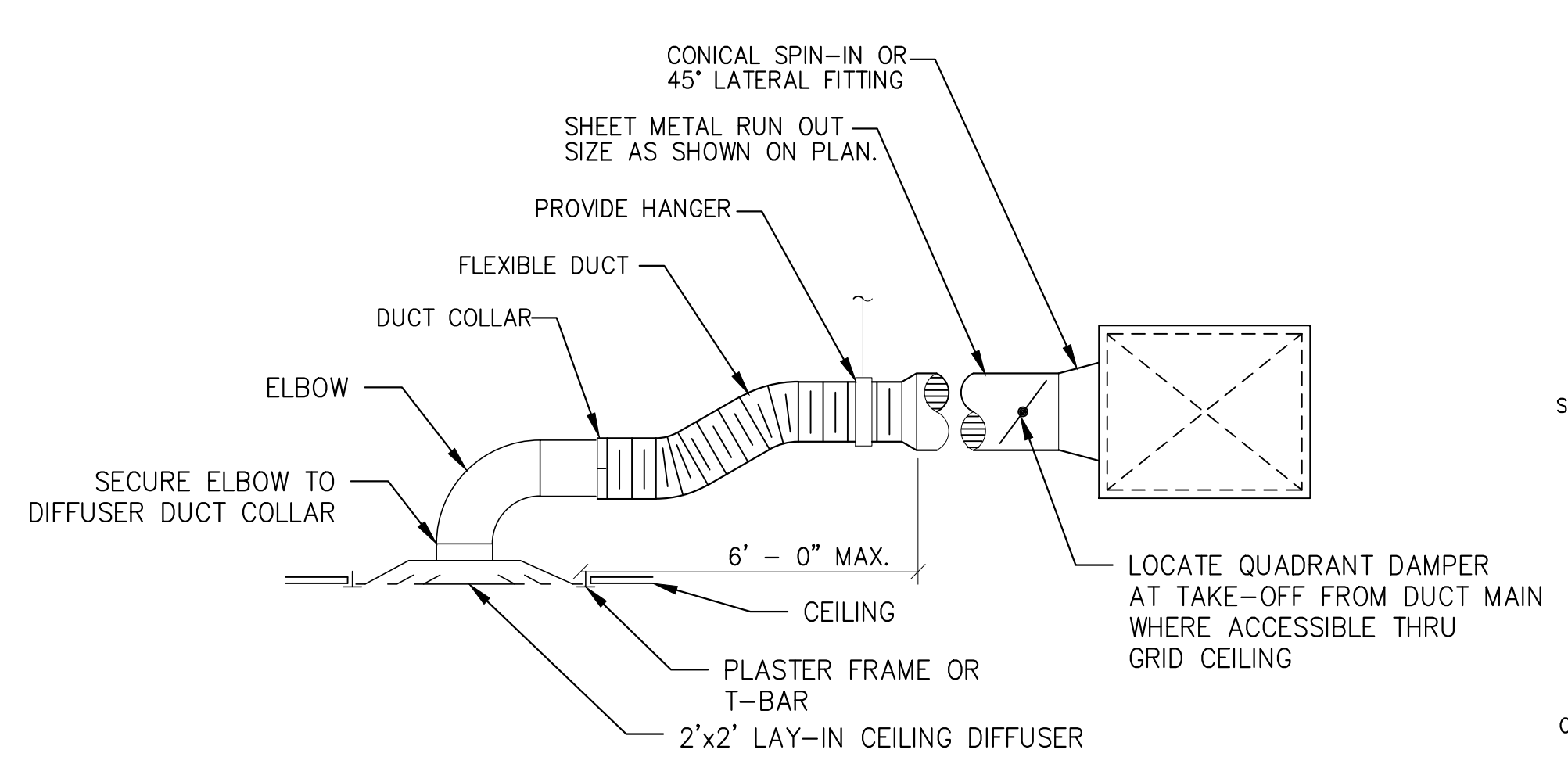
KEYED HVAC AND PLUMBING DEMOLITION NOTES:

- ① REMOVE EXIST WALL HUNG HEAT PUMP CASSETTE FOR RELOCATION TO INTERIOR WALL. REROUTE REFRIGERATION AND CONDENSATE PIPING AS NEEDED.
- ② REMOVE EXISTING UNIT VENTILATOR AND ALL ASSOCIATED COMPONENTS. CAP PIPING BELOW FLOOR.
- ③ REMOVE EXIST PLUMBING FIXTURE. DEMO ASSOCIATED COLD WATER, HOT WATER, SANITARY, AND SANITARY VENT PIPING. CAP PIPING BELOW FLOOR, IN WALL, OR ABOVE CEILING.
- ④ REMOVE EXIST BATHROOM EXHAUST FAN AND ASSOCIATED DUCTWORK. CAP AT EXTERIOR WALL OR CEILING AS REQUIRED. FIELD VERIFY ACTUAL LOC.

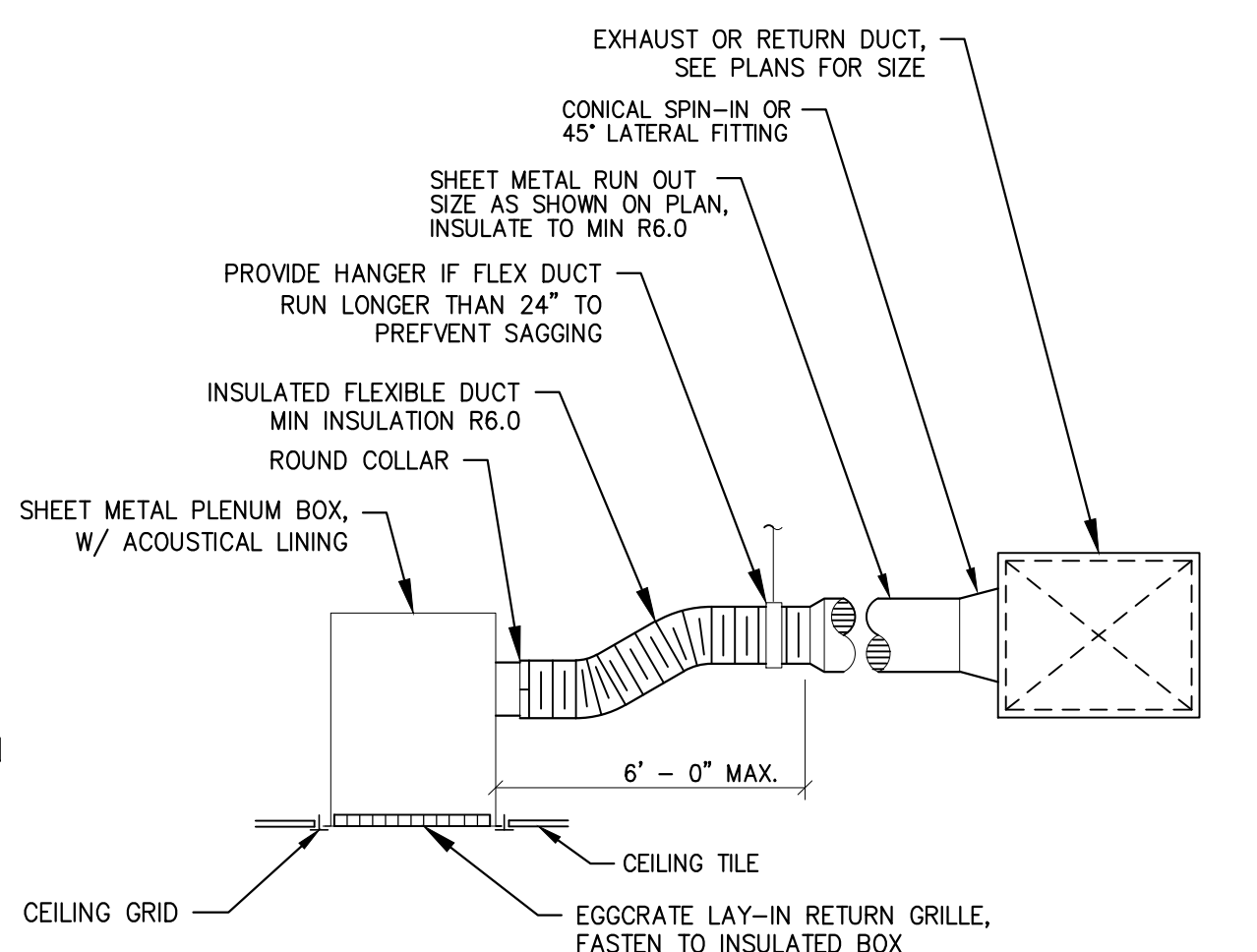

**FIRST FLOOR MECHANICAL AND
PLUMBING DEMOLITION PLAN**


SCALE: 1/8" = 1'-0"

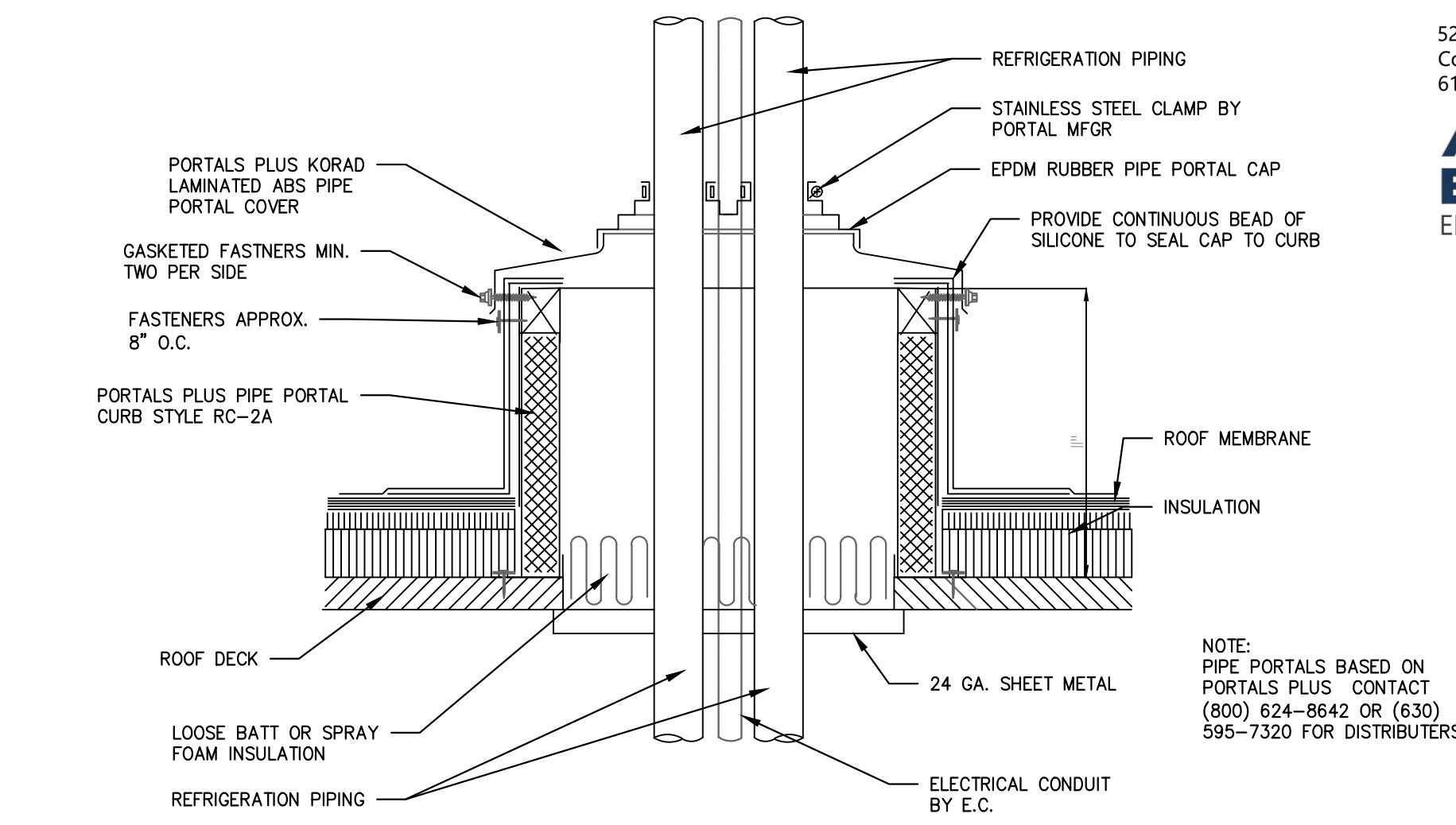
ANSI D 22x34



TYPICAL CEILING DIFFUSER RUN-OUT DETAIL
NOT TO SCALE



TYPICAL RETURN GRILLE DETAIL
NOT TO SCALE



TYP. PIPE PORTAL DETAIL FOR ROOF PENETRATION
NOT TO SCALE

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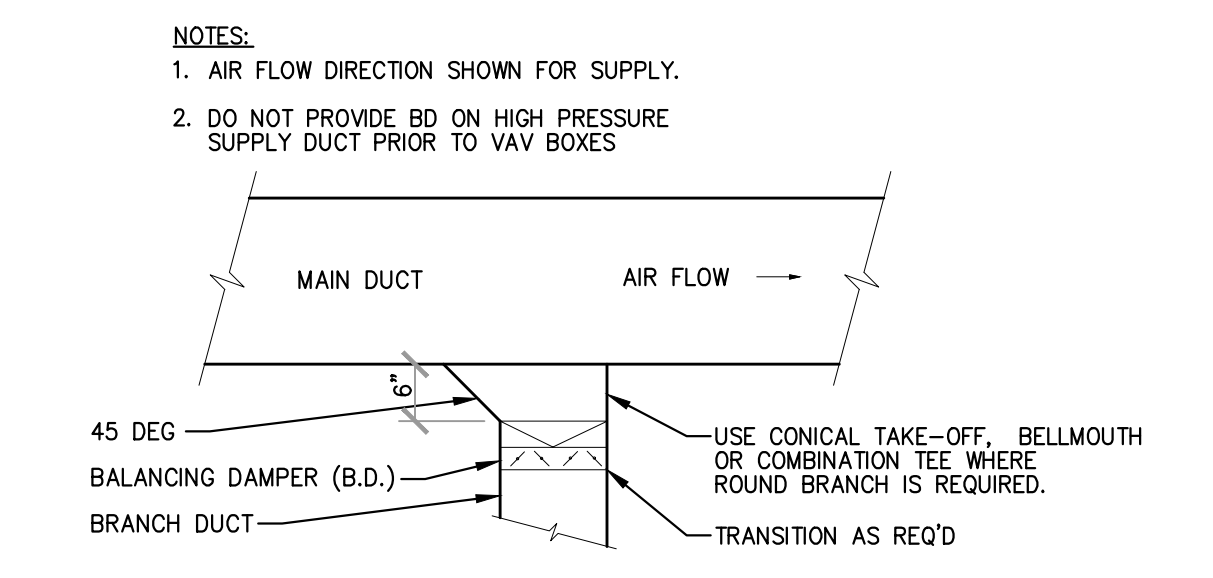
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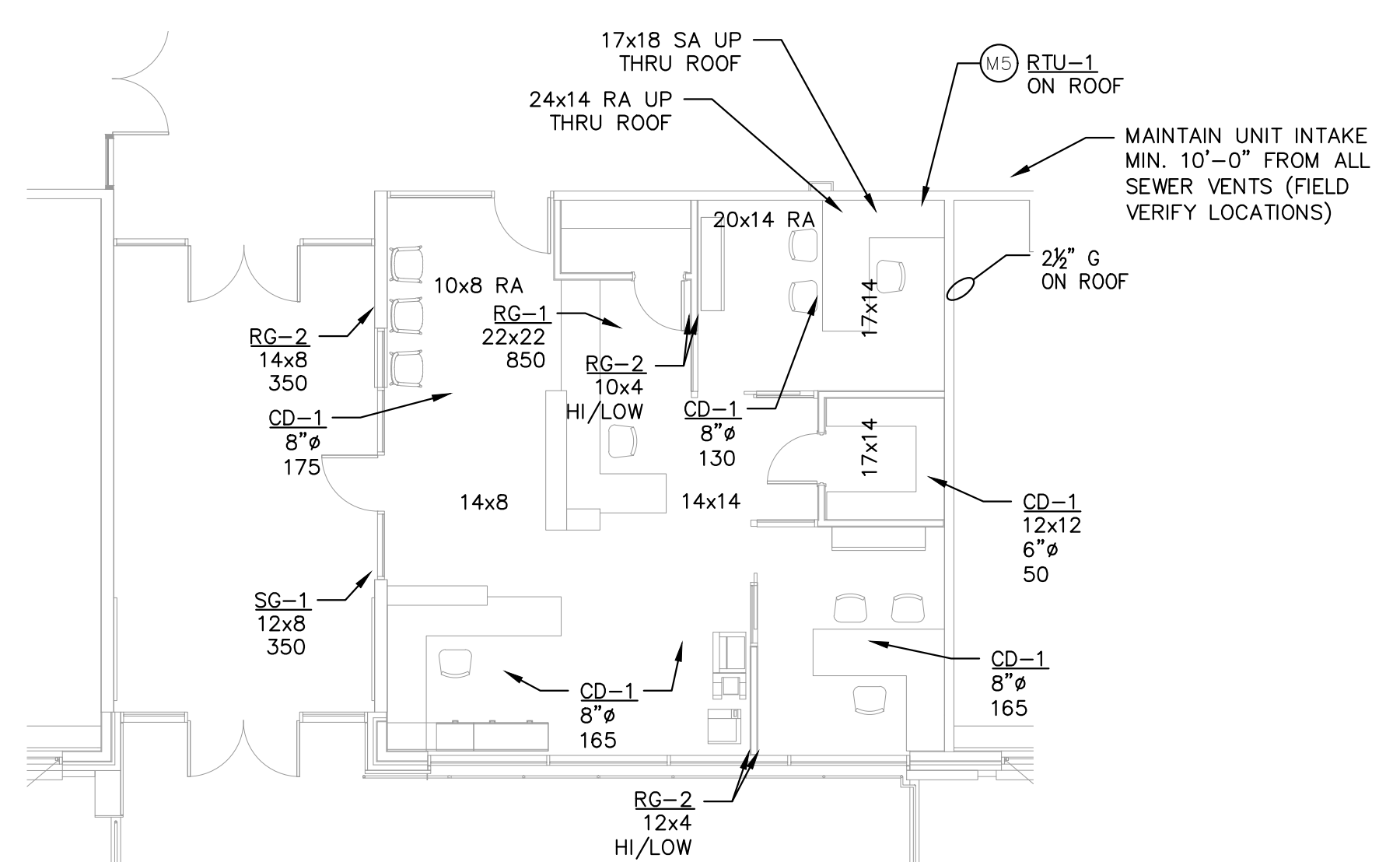
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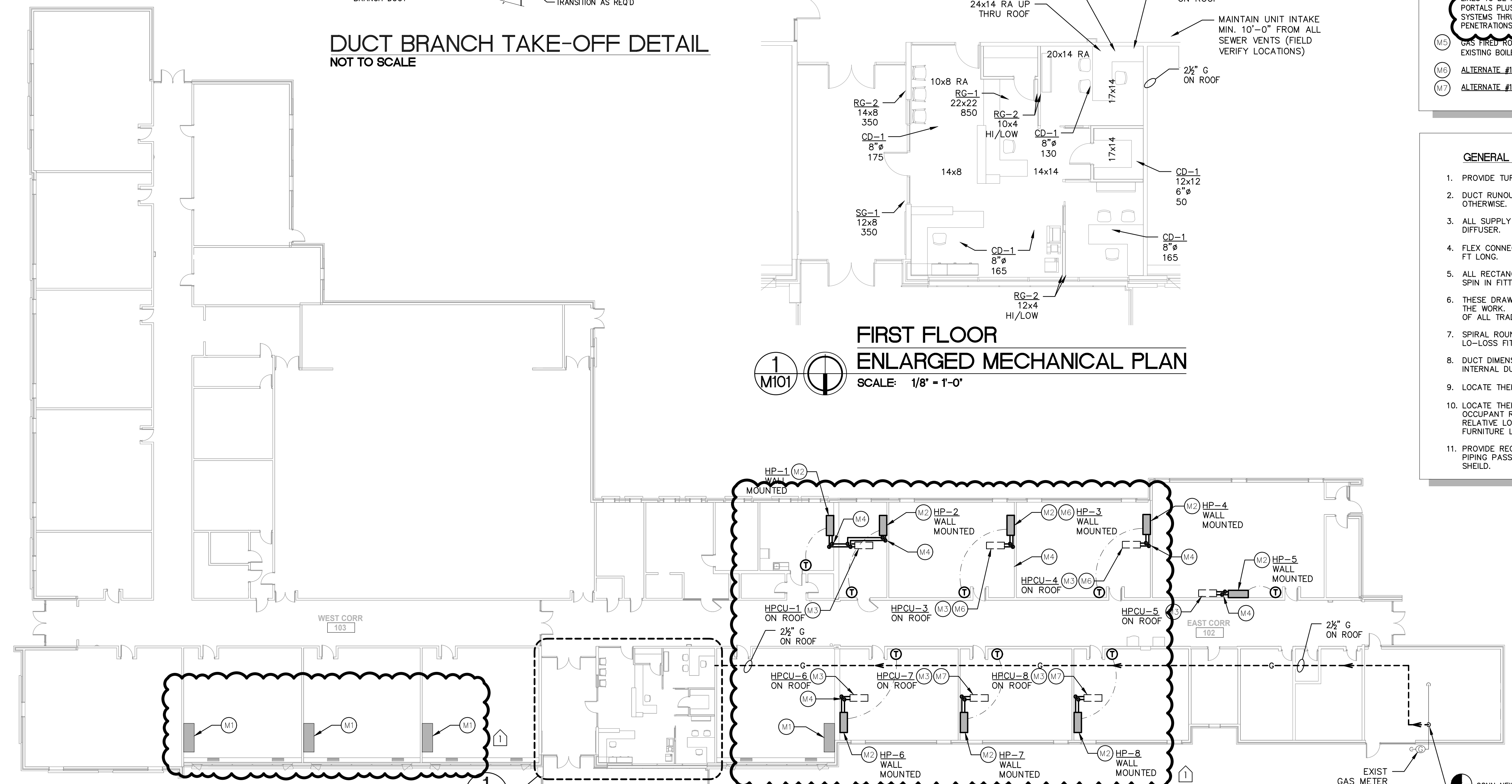
DUCT BRANCH TAKE-OFF DETAIL
NOT TO SCALE

- KEYED MECHANICAL HVAC NOTES:**
- M1 RELOCATE SIDEWALL HEAT PUMP CASSETTE TO INTERIOR WALL. ROUTE CONDENSATE FROM CASSETTE (HP) TO TERMINATE THRU EXTERIOR WALL WITH 6" OF COPPER PIPE AND A 45° ELBOW. CONDENSATE PIPING IS TO BE INSTALLED TO AVOID DISCHARGE ONTO SIDEWALKS OR SPACES ACCESSIBLE BY FOOT. COORDINATE UNIT FINAL LOCATION WITH OWNER.
 - M2 PROVIDE NEW SIDEWALL HEAT PUMP CASSETTE. ROUTE CONDENSATE FROM CASSETTE (HP) TO TERMINATE THRU EXTERIOR WALL WITH 6" OF COPPER PIPE AND A 45° ELBOW. CONDENSATE PIPING IS TO BE INSTALLED TO AVOID DISCHARGE ONTO SIDEWALKS OR SPACES ACCESSIBLE BY FOOT. COORDINATE UNIT FINAL LOCATION WITH OWNER.
 - M3 PROVIDE NEW HEAT PUMP CONDENSING UNIT ON ROOF.
 - M4 ROUTE RS/RL PIPING FROM HEAT PUMP CONDENSER ON ROOF (SIZED & INSTALLED PER MFR INSTRUCTION) DOWN THRU ROOF TO INDOOR CASSETTE; REFRIGERATION LINES TO BE ROUTED THRU A MULTI-PORT ROOF FLASHING BOOT (BASED ON PORTALS PLUS, PIPE PORTAL FLASHING SYSTEM). COMBINE MULTIPLE RS/RL PIPING SYSTEMS THRU A SINGLE PIPE PORTAL AS APPLICABLE, TO MINIMIZE ROOF PENETRATIONS. COORDINATE ALL ROOF PENETRATIONS WITH ROOFING CONTRACTOR.
 - M5 GAS THRU ROOF TOP UNIT ON ROOF WITH CURB. ROUTE GAS PIPING ON ROOF FROM EXISTING BOILER ROOM, CONNECT TO UNIT WITH 1/2" G CONNECTION.
 - M6 ALTERNATE #1: PROVIDE HPCU-3 & HPCU-4 AS A MULTI-ZONE UNIT.
 - M7 ALTERNATE #1: PROVIDE HPCU-7 & HPCU-8 AS A MULTI-ZONE UNIT.

- GENERAL HVAC NOTES:**
1. PROVIDE TURNING VANES IN ALL 90° MITERED ELBOWS.
 2. DUCT RUNOUT SIZES TO MATCH DIFFUSER OR GRILLE NECK SIZE UNLESS SHOWN OTHERWISE.
 3. ALL SUPPLY DIFFUSER RUNOUT DUCT TO HAVE BD AS FAR AS POSSIBLE FROM DIFFUSER.
 4. FLEX CONNECTORS TO CD'S TO BE THE SAME SIZE AS THE CD COLLAR, MAX 5 FT LONG.
 5. ALL RECTANGULAR DUCT TAKE-OFFS TO HAVE 45° LEADING EDGE OR CONICAL SPIN IN FITTINGS.
 6. THESE DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL EXTENT OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND PROPER INSTALLATION OF ALL MECHANICAL SYSTEMS.
 7. SPIRAL ROUND AND FLAT OVAL DUCT UPSTREAM OF TERMINAL UNITS TO HAVE LO-LOSS FITTINGS FOR ALL TAKE-OFFS.
 8. DUCT DIMENSIONS SHOWN REPRESENT FREE AREA REQUIRED. INCREASE FOR INTERNAL DUCT ACOUSTIC LINING AS REQUIRED.
 9. LOCATE THERMOSTATS/SENSORS AT 48" AFF
 10. LOCATE THERMOSTATS AND/OR ROOM TEMP SENSORS TO BEST REPRESENT OCCUPANT ROOM COMFORT - TCC RESPONSIBLE FOR FINAL LOC BASED ON RELATIVE LOC TO SUPPLY AND RETURN AIR GRILLES, OUTSIDE WINDOW, ROOM FURNITURE LAYOUT AND OWNER COORDINATION.
 11. PROVIDE REQUIRED CLEARANCE IN FRONT OF ELECTRICAL EQUIPMENT. WHERE PIPING PASSES OVER ELECTRICAL BUS DUCTS OR PANELS, PROVIDE DRIP PAN SHIELD.



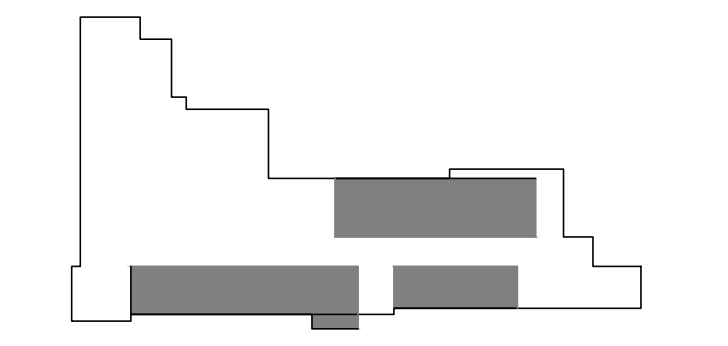
FIRST FLOOR ENLARGED MECHANICAL PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR MECHANICAL PLAN
SCALE: 1/8" = 1'-0"

REFER TO FIRST FLOOR ENLARGED MECHANICAL PLAN THIS SHIT FOR MORE INFO

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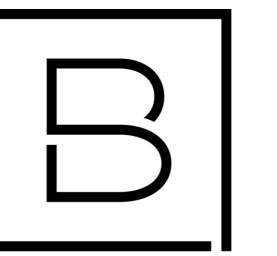


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D HOLTROP	B HUYLER
Designer	Reviewer
C SCHOLTEN	C NOLAN
Date Issued	Project Number
02/15/2023	22013309A

FIRST FLOOR MECHANICAL PLANS

Drawing Number
M101



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Designer	Reviewer
J BOIK	A ROBINSON
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Sheet Name

ELECTRICAL DEMOLITION PLAN

Drawing Number

ED101

GENERAL NOTES:

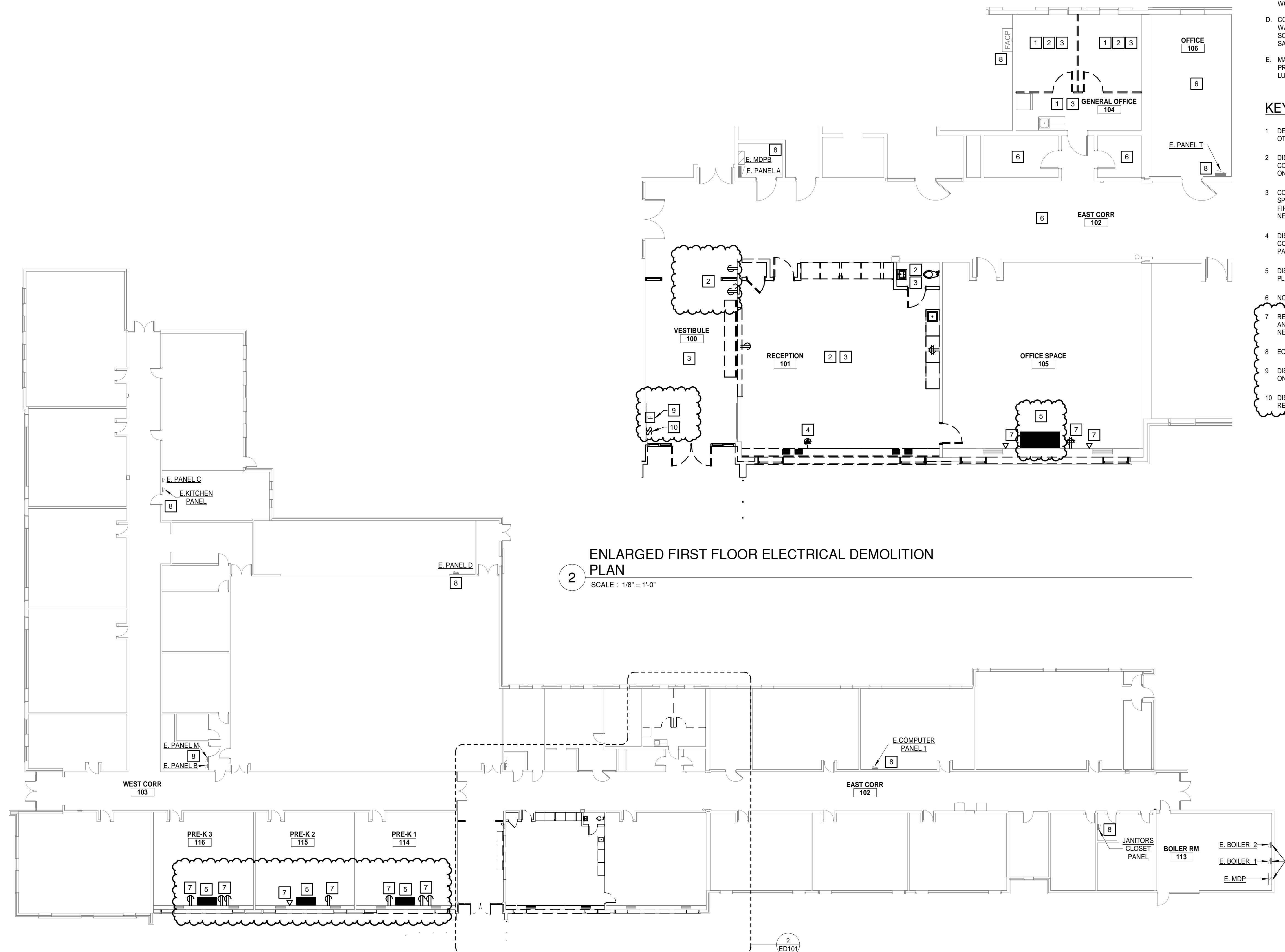
- ANY EXISTING CONDITIONS INDICATED ARE BASED ON INFORMATION PROVIDED BY OTHERS AND POSSIBLE LIMITED FIELD VERIFICATION. THE CONTRACTOR SHALL ADJUST FOR THE ACTUAL FIELD CONDITIONS AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL VISIT THE PROJECT SITE, REVIEW EXISTING CONDITIONS AGAINST THE PLANS, AND FAMILIARIZE THEMSELVES WITH THE WORK PRIOR TO BIDDING AND START OF THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING EQUIPMENT, DEVICES, AND LUMINAIRES AS INDICATED AND/OR AS REQUIRED TO ALLOW FOR INSTALLATION AND CONSTRUCTION OF THE NEW WORK. REMOVE ALL EQUIPMENT, DEVICES, LUMINAIRES, CONDUITS, SUPPORTS, HANGERS, ECT. THAT ARE NOT SHOWN AND ARE REQUIRED TO BE REMOVED IN ORDER TO COMPLETE THE NEW WORK.
- CONTRACTOR SHALL DISCONNECT AND REMOVE ALL DEVICES IN WALLS BEING REMOVED. REMOVE BOXES, CONDUITS, AND WIRE TO SOURCE OR FIRST JUNCTION BOX TO MAINTAIN EXISTING DEVICES ON SAME CIRCUIT.
- MAINTAIN CONTINUITY OF EXISTING CIRCUITS AS REQUIRED TO PROVIDE POWER TO REMAINING EQUIPMENT, DEVICES, AND LUMINAIRES THAT ARE NOT BEING REMOVED.

KEYNOTES

- DEVICES ON EXTERIOR WALLS IN SPACE SHALL REMAIN UNLESS NOTED OTHERWISE
- DISCONNECT AND REMOVE ALL DEVICES IN SPACE. REMOVE ALL CONDUIT AND WIRE TO FIRST JUNCTION BOX. ALL DEVICES REMAINING ON CIRCUIT SHALL REMAIN ACTIVE.
- CONTRACTOR SHALL DISCONNECT AND REMOVE LIGHT FIXTURES IN SPACE. REFER TO NEW LIGHTING PLANS. REMOVE LUMINAIRE WHIP TO FIRST JUNCTION BOX. FEEDER CONDUIT AND WIRE MAY REMAIN FOR NEW WORK.
- DISCONNECT AND REMOVE WINDOW AC UNIT RECEPTACLE, CONDUIT, RACEWAY AND WIRE TO SOURCE. REMOVE BREAKER FROM PANEL.
- DISCONNECT HEAT PUMP FOR RELOCATION BY OTHERS. REFER TO NEW PLANS FOR NEW LOCATION.
- NO WORK IN SPACE UNLESS NOTED OTHERWISE.
- REMOVE SURFACE RACEWAY AND DEVICES TO CEILING. FEEDER, WIRE, AND CONDUIT TO REMAIN FOR NEW RACEWAY AND DEVICES. REFER TO NEW POWER PLANS.
- EQUIPMENT SHALL REMAIN.
- DISCONNECT FOR ARCHITECTURAL DEMOLITION. REINSTALL AS SHOWN ON POWER PLAN.
- DISCONNECT AND REMOVE DEVICE AND WIRE TO FIRST JUNCTION BOX. RECESSED CONDUIT AND BOX TO REMAIN.

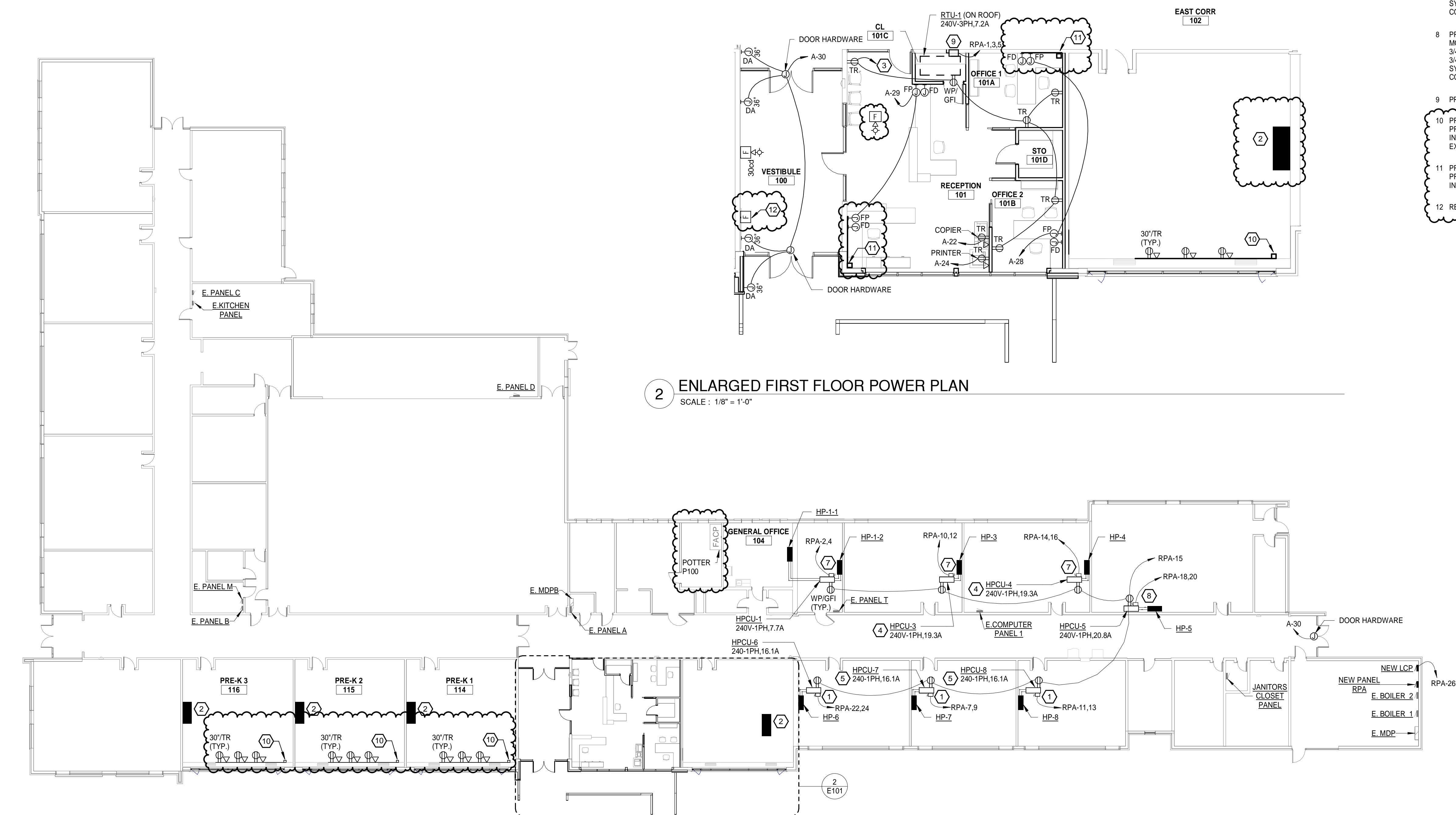
ENLARGED FIRST FLOOR ELECTRICAL DEMOLITION PLAN

SCALE : 1/8" = 1'-0"



1 FIRST FLOOR ELECTRICAL DEMOLITION PLAN

SCALE : 1/16" = 1'-0"

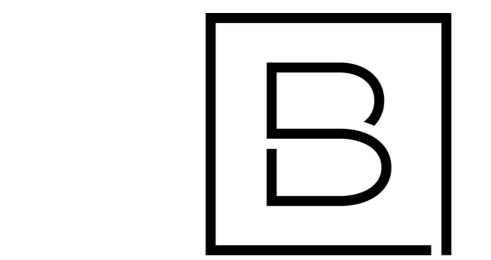


1 FIRST FLOOR PLAN - POWER
SCALE: 1/16" = 1'-0"

2 ENLARGED FIRST FLOOR POWER PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES

- 1 PROVIDE 30A/3P NON-FUSED NEMA 3R DISCONNECT ON ROOF AND MOUNT ON SEPARATE SUPPORTS. PROVIDE POWER FEED DOWN TO FAN UNIT IN 3/4" CONDUIT. SEAL ALL PENETRATIONS TO MAINTAIN ROOF SYSTEM. PENETRATIONS AND EXPOSED CONDUIT SHALL BE RIGID CONDUIT WITH LFNC FOR FINAL CONNECTION.
- 2 RELOCATED SIDEWALL HEAT PUMP CASSETTE. EXTEND CONDUIT, WIRE, AND CONTROLS AS REQUIRED.
- 3 CIRCUIT NEW RECEPTACLES TO EXISTING CIRCUIT SERVING PREVIOUS RECEPTACLES IN SPACE.
- 4 ALTERNATE 1: DO NOT PROVIDE HPCU-3 AND HPCU-4 SPLIT SYSTEMS. INSTEAD PROVIDE A 240V-1PH, 40A CIRCUIT FROM PANEL RPA. PROVIDE A 40A/2P BREAKER, 2#8, #10EGC IN 3/4-INCH CONDUIT TO ALTERNATE EQUIPMENT.
- 5 ALTERNATE 1: DO NOT PROVIDE HPCU-7 AND HPCU-8 SPLIT SYSTEMS. INSTEAD PROVIDE A 240V-1PH, 40A CIRCUIT FROM PANEL RPA. PROVIDE A 40A/2P BREAKER, 2#8, #10EGC IN 3/4-INCH CONDUIT TO ALTERNATE EQUIPMENT.
- 7 PROVIDE 30A/3P NON-FUSED NEMA 3R DISCONNECT ON ROOF AND MOUNT ON SEPARATE SUPPORTS. PROVIDE 2#10, #10EGC IN 3/4-INCH CONDUIT. SEAL ALL PENETRATIONS TO MAINTAIN ROOF SYSTEM. PENETRATIONS AND EXPOSED CONDUIT SHALL BE RIGID CONDUIT WITH LFNC FOR FINAL CONNECTION.
- 8 PROVIDE 60A/3P NON-FUSED NEMA 3R DISCONNECT ON ROOF AND MOUNT ON SEPARATE SUPPORTS. PROVIDE 2#8, #10EGC IN 3/4-INCH CONDUIT. SEAL ALL PENETRATIONS TO MAINTAIN ROOF SYSTEM. PENETRATIONS AND EXPOSED CONDUIT SHALL BE RIGID CONDUIT WITH LFNC FOR FINAL CONNECTION.
- 9 PROVIDE 30A/3P NON-FUSED NEMA 3R DISCONNECT SWITCH
- 10 PROVIDE STEEL WIREMOLD DUAL CHANNEL 4000 SERIES RACEWAY. PROVIDE ALL COMPONENTS NECESSARY FOR A NEAT AND CLEAN INSTALLATION. PROVIDE DEVICES AND CIRCUITS SHOWN. EXTEND EXISTING CIRCUITS FROM REMOVED DEVICES.
- 11 PROVIDE STEEL WIREMOLD DUAL CHANNEL 4000 SERIES RACEWAY. PROVIDE ALL COMPONENTS NECESSARY FOR A NEAT AND CLEAN INSTALLATION. PROVIDE DEVICES AND CIRCUITS SHOWN.
- 12 REINSTALL FIRE ALARM DEVICE



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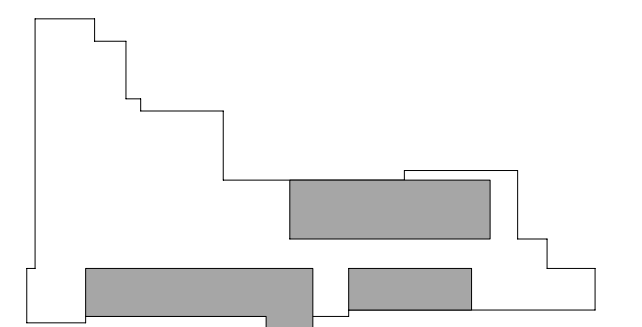
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D. HOLTROP	A. ROBINSON
Designer	Reviewer
J. BOIK	A. ROBINSON
Date Issued	Project Number
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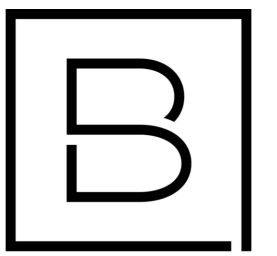
POWER PLAN

Drawing Number

E101

KEYNOTES

- 1 REUSE EXISTING LIGHTING CIRCUIT SERVING SPACE.
- 2 PROVIDE LIGHTING CONTROL PANEL WITH 4-RELAYS AND ASTROLOOK EQUAL TO BLUEBOX LT.
- 3 INSTALL NEW DEVICE AND WIRE. REUSE RECESSED CONDUIT AND BOX.



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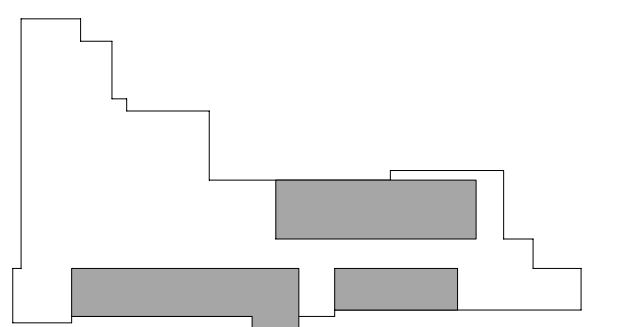
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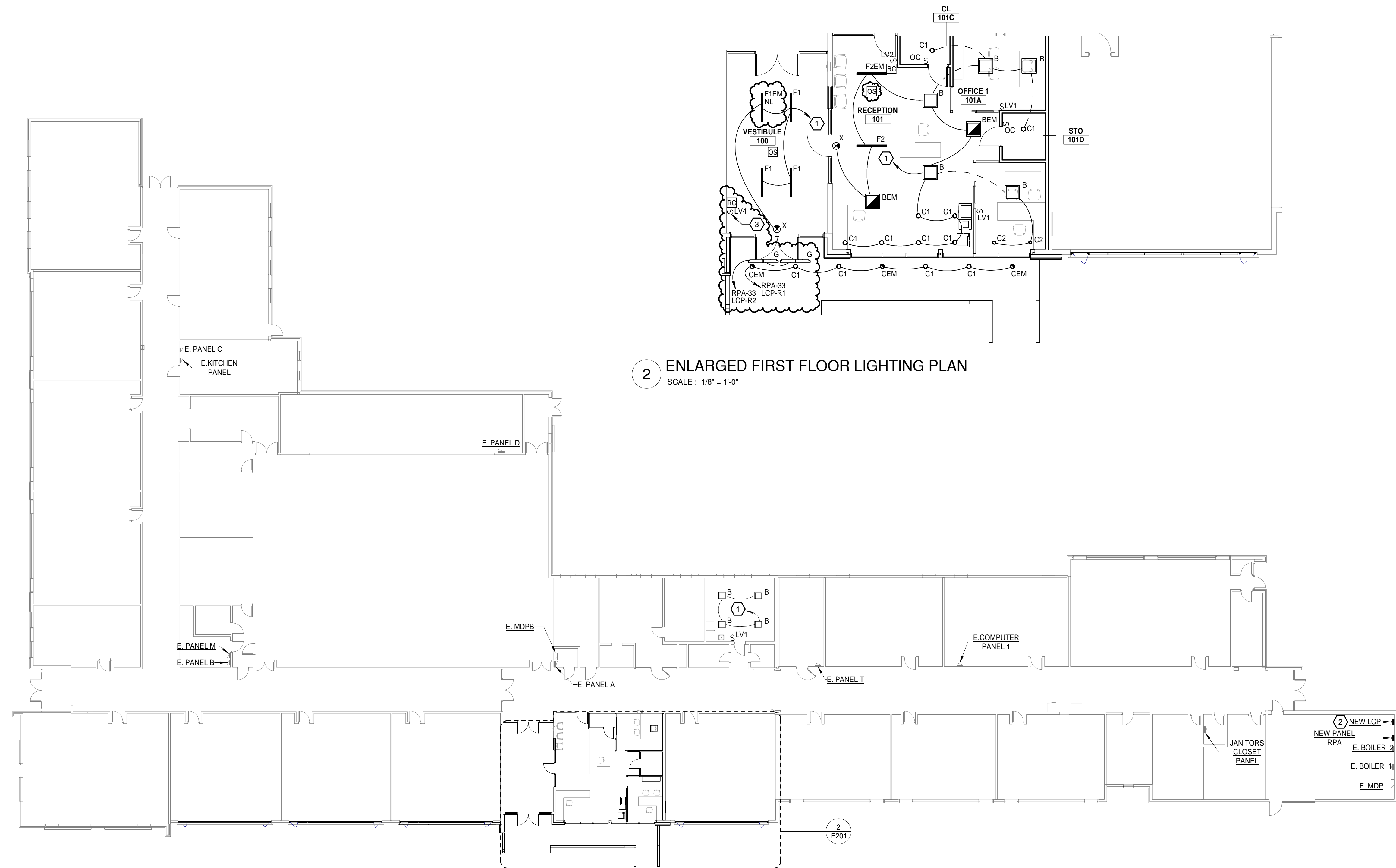
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Designer	Reviewer
J. BOIK	A. ROBINSON
Date Issued	Project Number
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Sheet Name

LIGHTING PLAN

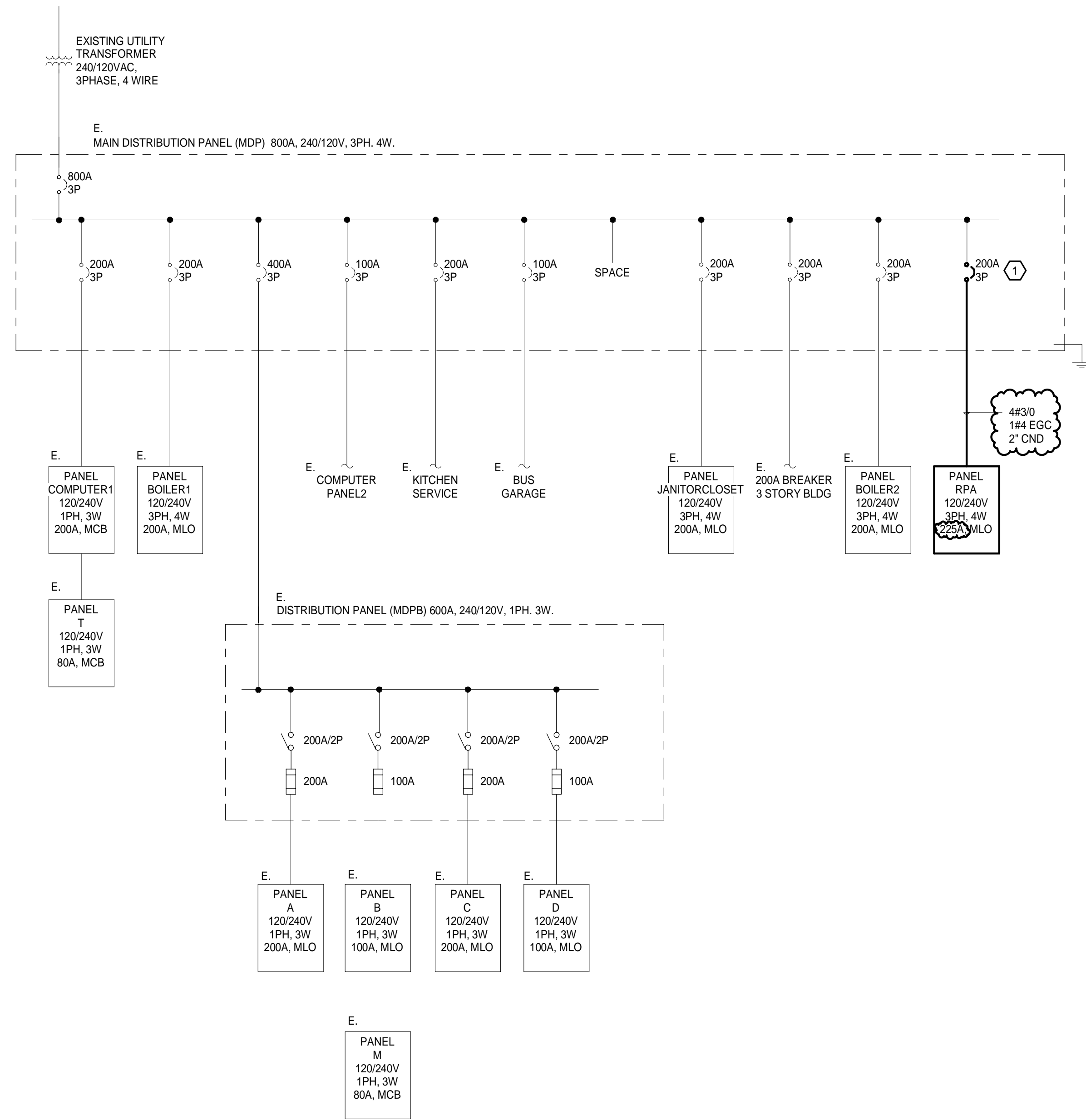
Drawing Number

E201



2 ENLARGED FIRST FLOOR LIGHTING PLAN
SCALE : 1/8" = 1'-0"

1 FIRST FLOOR LIGHTING PLAN
SCALE : 1/16" = 1'-0"



SINGLE LINE DIAGRAM NOTES:

- A. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- B. ALL GEAR, CONDUIT AND WIRE SHALL REMAIN UNLESS NOTED OTHERWISE.

KEYNOTES

- 1. PROVIDE NEW 200A/3P BREAKER IN EXISTING SQUARE D I-LINE DISTRIBUTION PANEL

1 EXISTING ONE LINE DIAGRAM
SCALE: N.T.S.

NEC ELECTRICAL LOAD SUMMARY - 800A Service												
PANEL	CONNECTED LOADS						DEMAND LOADS					
	LARGEST MOTOR	MECH/MOTOR	LIGHTING	RECEPT.	KITCHEN	OTHER	LARGEST MOTOR	MECH	LIGHTING	RECEPT.	KITCHEN	OTHER
Existing Peak Demand						95200.0	6240.0	28143.0	0.0	0.0	0.0	95200.0
RTU-1		2991.0										
HPCU-1		2148.0										
HPCU-2		2148.0										
HPCU-3		4632.0										
HPCU-4		4632.0										
HPCU-5	4992.0											
HPCU-6		3864.0										
HPCU-7		3864.0										
HPCU-8		3864.0										
TOTAL	4992.0	28143.0	0.0	0.0	0.0	95200.0						
SYSTEM VOLTAGE	240.0	V	SYSTEM PHASE	3.0								
CONNECTED:	128335.0 VA											
DEMAND:	129583.0 VA											
CONNECTED:	309.1 A											
DEMAND:	312.1 A											

PEAK DEMAND PROVIDED BY UTILITY COMPANY: 9520 kWh



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Discipline Lead: _____
Designer: _____
Reviewer: _____

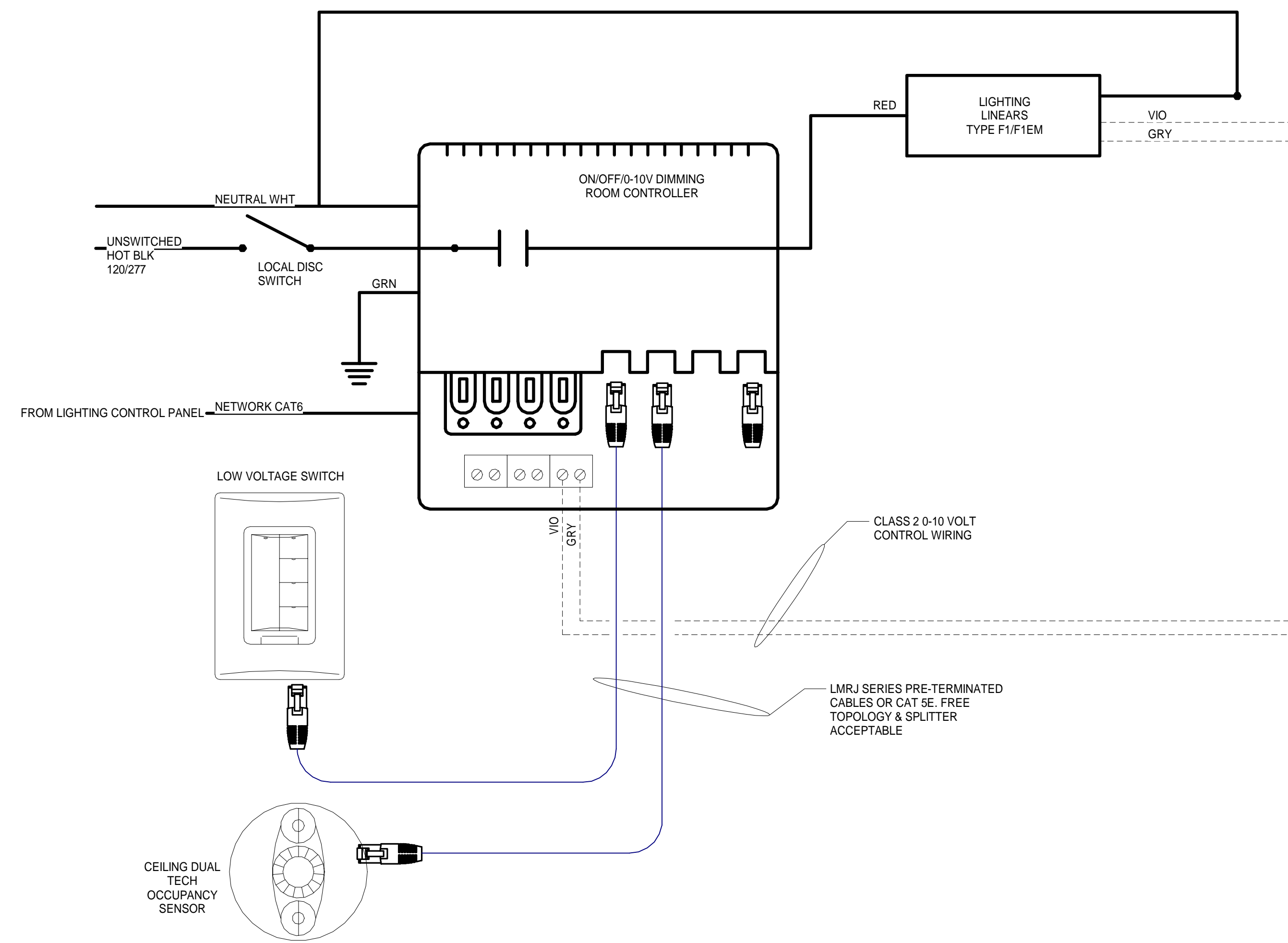
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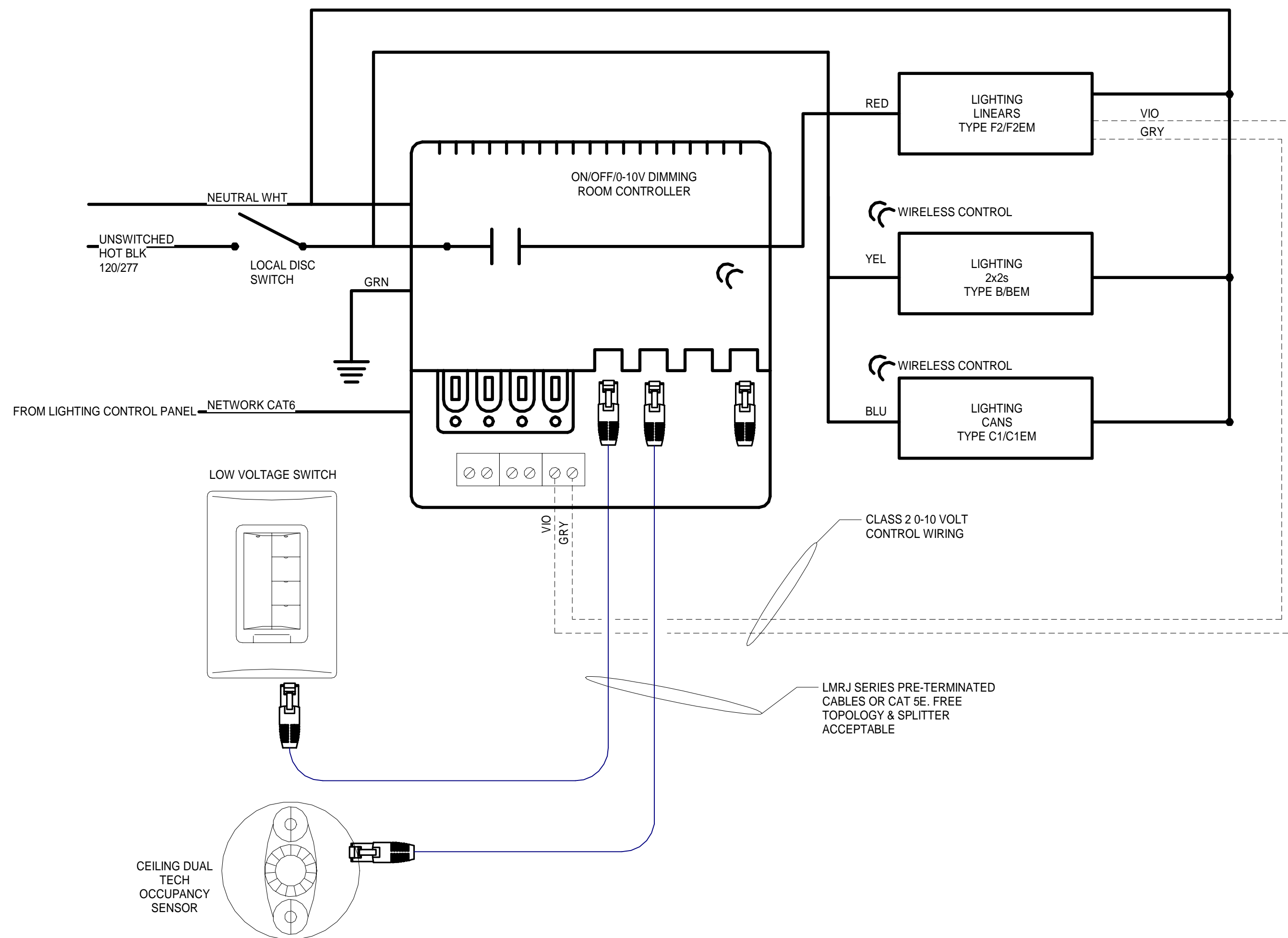
ONE-LINE DIAGRAM

Drawing Number

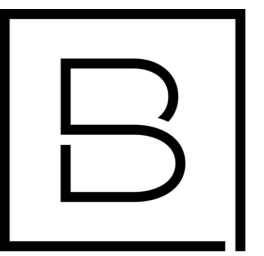
E601



1 ROOM CONTROLLER DETAIL: VESTIBULE
SCALE: N.T.S



2 ROOM CONTROLLER DETAIL: RECEPTION
SCALE: N.T.S



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Date Issued	Project Number
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Sheet Name

DETAILS

Drawing Number

E701

SEQUENCE OF OPERATION:

1. LIGHTING CONTROL INTENTION IS TO USE LIGHT FIXTURES WITH INTEGRATED CONTROLS AND ASSOCIATED LOW VOLTAGE SWITCHES, UNLESS NOTED OTHERWISE WITH ROOM CONTROLLERS. DEVIATION FROM THIS SOLUTION SHALL MEET CONTROL INTENTIONS AND COORDINATED WITH ELECTRICAL CONTRACTOR FOR ADDITIONAL WIRING AND INSTALLATION.
2. ALL SWITCHES WITH "LVF" ARE LOW VOLTAGE WIRED CONTROL STATIONS. PROVIDE ON/OFF BUTTONS, PRE-PROGRAMMED SCENES, NETWORK ROOM CONTROLLER AND INTEGRATED CONTROLS TO SYSTEM FOR TIME OF DAY FEATURES

3. LV1: ENCLOSED OFFICE:

- A. LIGHTING COME ON AUTOMATICALLY AT 50% UPON ENTRANCE TO SPACE.
- B. LIGHTING SHALL REMAIN ON UNTIL 20-MINUTES AFTER NO ACTIVITY AND THEN TURN OFF.
- C. LOCAL OVERRIDE STATIONS SHALL INCLUDE BUTTONS (LABEL: PROGRAMMING):
 - a. ON: LUMINAIRES 100%
 - b. 50%: LUMINAIRES AT 50%
 - c. DIM UP
 - d. DIM DOWN
 - e. OFF: LUMINAIRES ALL OFF

4. LV2: OPEN OFFICE:

- A. LIGHTING COME ON AUTOMATICALLY AT 50% UPON ENTRANCE TO SPACE.
- B. LIGHTING SHALL REMAIN ON UNTIL 20-MINUTES AFTER NO ACTIVITY AND THEN TURN OFF.
- C. PROVIDE QUANTITY OF ROOM CONTROLLERS AND OCCUPANCY SENSORS PER MANUFACTURER REQUIREMENTS
- D. LOCAL OVERRIDE STATIONS SHALL INCLUDE BUTTONS (LABEL: PROGRAMMING):
 - a. ON: LUMINAIRES 100%
 - b. 50%: LUMINAIRES AT 50%
 - c. DIM UP
 - d. DIM DOWN
 - e. OFF: LUMINAIRES ALL OFF

6. LV4: CORRIDORS/VESTIBULE:

- A. LIGHTING COME ON AUTOMATICALLY AT 50% DURING NORMAL OCCUPIED TIMES.
- B. OCCUPANCY SENSOR SHALL DIM LIGHTS TO 100% UPON AREA OCCUPANCY
- C. OCCUPANCY SENSOR SHALL DIM LIGHTS TO 50% UPON 30 MINUTES OF NO AREA OCCUPANCY
- D. NETWORK TO SYSTEM FOR TIME OF DAY. SYSTEM SHALL TURN LIGHTING OFF DURING NON-OCCUPIED TIMES.
- E. EMERGENCY FIXTURE TO REMAIN ON AS NIGHTLIGHT.
- F. PROVIDE QUANTITY OF ROOM CONTROLLERS AND OCCUPANCY SENSORS PER MANUFACTURER REQUIREMENTS
- G. LOCAL OVERRIDE STATIONS SHALL INCLUDE BUTTONS (LABEL: PROGRAMMING):
 - a. ON: LUMINAIRES 100%
 - b. 50%: LUMINAIRES AT 50%
 - c. DIM UP
 - d. DIM DOWN
 - e. OFF: LUMINAIRES ALL OFF

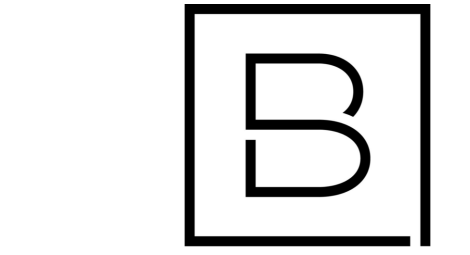
7. LV5: STORAGE:

- A. PROVIDE SWITCH STYLE OCCUPANCY SENSOR.
- B. LV7 STATIONS SHALL INCLUDE BUTTONS
 - A. ON
 - B. OFF

		LUMINAIRE SCHEDULE						
TYPE	LAMP	MANUFACTURER	MODEL NUMBER	BALLAST/DRIVER	MOUNTING	INPUT WATTAGE	DESCRIPTION	NOTE
A	3100 LUMEN, 3500K, LED	METALLUX	24C22-40-UNV-L835-CD1-SWPD1	0-10V	RECESSED GRID CEILING	29W	2x4 TROFFER. PROVIDE INTEGRAL OCCUPANCY SENSOR	
		COLUMBIA	LCAT-24-40-HL-G-ED-U-NXES					
		LITHONIA	2BLT4-40L-ADSM-T-EZ1-LP835-N100-NESPDT7ADCX					
		DAYBRITE	2EVO-G-43L-835-4-D-UNV-DIM-SWZG2					
AEM	4000 LUMEN, 3500K, LED	METALLUX	24C22-40-UNV-L835-EL7W-CD1-SWPD1	0-10V	RECESSED GRID CEILING	29W	2x4 TROFFER. PROVIDE INTEGRAL OCCUPANCY SENSOR AND 7W EMERGENCY BATTERY.	
		COLUMBIA	LCAT-24-40-HL-G-ED-U-NXES-ELL14					
		LITHONIA	2BLT4-40L-ADSM-EZ1-LP835-N100-NESPDT7ADCX EL7L					
		DAYBRITE	2EVO-G-43L-835-4-D-UNV-DIM-EMLED-SWZG2					
B	3100 LUMEN, 3500K, LED	METALLUX	22C22-32HE-UNV-L835-SWPD1-CD1	0-10V	RECESSED CEILING GRID	23.5W	2x2 TROFFER. PROVIDE INTEGRAL OCCUPANCY SENSOR	
		COLUMBIA	LCAT-22-35-ML-G-ED-U-NXES					
		LITHONIA	2BLT2-33L-ADSM-T-EZ1-LP835-N100-NESPDT7ADCX					
		DAYBRITE	2EVO-G-45L-835-2-D-UNV-DIM-SWZG2					
BEM	3100 LUMEN, 3500K, LED	METALLUX	22C22-32HE-UNV-L835-EL7W-CD1-SWPD1	0-10V	RECESSED CEILING GRID	23.5W	2x2 TROFFER. PROVIDE INTEGRAL OCCUPANCY SENSOR AND 7W EMERGENCY BATTERY.	
		COLUMBIA	LCAT-22-35-ML-G-ED-U-NXES-ELL14					
		LITHONIA	2BLT2-33L-ADSM-T-EZ1-LP835-N100-NESPDT7ADCX-EL7L					
		DAYBRITE	2EVO-G-45L-835-2-D-UNV-DIM-EMLED-SWZG2					
C1	2000 LUMEN, 3500K, LED	PRESCOLITE	LTR-6RD-SL-10L-DM1-NXE-LTR-6RD-T-SL-35K-8-MD-SS-WT-B24	0-10V	RECESSED CEILING GRID	22.1W	6" RECESSED CAN.	
		GOTHAM	EVO6-35/10-AR-LSS-MD-120-EZ1-NLT-TRW					
		PORTFOLIO	LD6B-10-D010-EU6B-1020-80-35-6LB-M-0-H-HB26					
		CALCULITE	6R-N-C6L-10-8-35-M-210-U-C6-R-DL-CL					
C1EM	2000 LUMEN, 3500K, LED	PRESCOLITE	LTR-6RD-H-ML-DM1-NXE-EMR-LTR-6RD-T-ML-35K-8-MD-SS-WT-B24	0-10V	RECESSED CEILING GRID	22.1W	6" RECESSED CAN. PROVIDE REMOTE TEST SWITCH AND 10W EMERGENCY BATTERY.	
		GOTHAM	EVO6-35/10-AR-LSS-MD-120-EZ1-NLT-TRW-EL					
		PORTFOLIO	LD6B-20-D010-EU6B-1020-80-35-6LB-M-0-H-HB26					
		CALCULITE	6R-N-EM-C6L-20-8-35-M-210-U-C6-R-DL-CL					
C2	1100 LUMEN, 3500K, LED	PRESCOLITE	LTR-4RD-H-SL-DM1-NXE-LTR-4RD-T-SL-35K-8-MD-SS-WT-B24	0-10V	RECESSED CEILING GRID	12.7W	4" RECESSED CAN. PROVIDE INTEGRAL OCCUPANCY SENSOR.	
		GOTHAM	EVO4-35/10-AR-LSS-MD-120-EZ1-NLT-TRW					
		PORTFOLIO	LD4B-10-D010-EU4B-1020-80-35-4LB-M-1-H-HB26					
		CALCULITE	4R-N-C4L-10-8-35-M-210-U-C4-R-DL-CL					
C2EM	1100 LUMEN, 3500K, LED	PRESCOLITE	LTR-4SQD-H-SL-DM1-NXE-LTR-4SQD-T-SL-35K-8-MD-SS-WT-B24	0-10V	RECESSED CEILING GRID	12.7W	4" RECESSED SQUARE CAN. PROVIDE INTEGRAL OCCUPANCY SENSOR. PROVIDE PORT TO COMMUNICATE WITH ROOM FIXTURES WITH INTEGRAL SENSORS	
		GOTHAM	EVO4SQD-35-10-AR-LSS-MVOLT-EZ1-NLT-EL					
		PORTFOLIO						
F1	875 LUMENFT, 3500K, LED	JLC-TECH	TBLX-MW-HO-4-24-DW-A-W-UNV	0-10V	SUSPENDED 10' AFF	38	4' X 2.25' SUSPENDED LINEAR	
		ORACLE						
F1EM	875 LUMENFT, 3500K, LED	JLC-TECH	TBLX-MW-HO-4-24-DW-A-W-UNV-TBEM-XS-12-UNV	0-10V	SUSPENDED 10' AFF	38	4' X 2.25' SUSPENDED LINEAR. PROVIDE COMPATIBLE EMERGENCY BATTERY.	
		ORACLE						
F2	1075 LUMENFT, 3500K, LED	JLC-TECH	TBLX-MW-HO-4-24-DW-U-W-UNV	0-10V	GRID BAR	38	4' X 2.25' T-BAR LINEAR	
		ORACLE	4-LB-LED-2600L-DIM10-MVOLT-35K-85-TB-1516-FT					
F2EM	1075 LUMENFT, 3500K, LED	JLC-TECH	TBLX-MW-HO-4-24-DW-U-W-UNV-TBEM-XS-12-UNV	0-10V	GRID BAR	38	4' X 2.25' T-BAR LINEAR. PROVIDE COMPATIBLE EMERGENCY BATTERY.	
		ORACLE	4-LB-LED-2600L-DIM10-MVOLT-35K-85-TB-1516-FT					
G	711 LUMENFT, 2500K, LED	SPI LIGHTING	SEW12145-4FT-28W-120-277V-4000K	0-10V	EXTERIOR WALL MOUNT 178"	56W	4-FOOT EXTERIOR WALL BRACKET MOUNTED LIGHT FIXTURE.	
		I2	V2355-A-4-1-BBD					
		ELLIPTIPAR	S-151-R04L-08-M-00-0-840-ZX-HGC					
X	LED	EVENLITE	CHY-AB-CN		UNIVERSAL	1W	DIE CAST ALUMINUM, BLACK HOUSING WITH BRUSHED ALUMINUM FACE, AND GREEN LETTERS.	
		LITHONIA	LESSG-ELN					
		SURE-LITES	CXTG					
		COMPASS	CCESGE					

NEW PANEL "LCP"

D-DIMMER R-RELAY									
DIMMER/ RELAY #	ZONE	DESCRIPTION	PANELBOARD		LOAD TYPE	DIMMABLE	ON/OFF SWITCHING	NOTES	RELAY RATING
			NAME	CIR #				LIGHTING CONTROL STATION	
1	1	EXTERIOR CAN LIGHTS			67W LED		X	ASTROCLOCK	30A
2	2	EXTERIOR SIGN LIGHT			56W LED		X	ASTROCLOCK	30A
3		SPARE							
4		SPARE							



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Date Revised	Description
01/24/2023	BID PACKAGE #1 - OWNER REVIEW
01/31/2023	BID PACKAGE #1 - BIDS
02/07/2023	BID PACKAGE #1 - PERMITS
02/15/2023	BID PACKAGE #1 - ADDENDUM #1

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Designer	Reviewer
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Date Issued	Project Number
02/15/2023	16600.00

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SCHEDULES

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